

OPEN SESSION

REGULAR OPEN MEETING OF THIRD LAGUNA WOODS MUTUAL ARCHITECTURAL AND CONTROL STANDARDS COMMITTEE

Monday November 22, 2021: 9:30AM - 11:30AM VIRTUAL/IN PERSON MEETING

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of three options:

- 1. Via Zoom: https://us06web.zoom.us/j/93156707417
- 2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.
- 3. By calling (949) 268-2020 beginning one half hour before the meeting begins and throughout the remainder of the meeting. You must provide your name and unit number.

NOTICE and AGENDA

This Meeting May Be Recorded

- 1. Call to Order
- 2. Acknowledgement of Media
- 3. Approval of Agenda
- 4. Approval of Meeting Report October 25, 2021
- 5. Chair's Remarks
- 6. Member Comments (Items Not on the Agenda)
- 7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. Monthly Mutual Consent Report (Attachment 1, PDF Page 7)

Variance Requests:

- A. Variance Request 5417 (San Marco, Plan C12C_2) Master Bedroom Addition, New Windows, Third Bathroom Addition, and Interior Remodel (PDF Page 9)
- B. Variance Request 5560-A (Casa Lorenzo, Plan RC12) Kitchen Remodel with Structural Changes (PDF Page 31

Items for Discussion:

- 9. Staff Report Water Heater Enclosure (Attachment 2, PDF Page 43)
- 10. ACM: Legal Involvement Progress & Dual Mutual Involvement Update from Chairman
- 11. Staff Report Alternative Wood Flooring Material (Attachment 3, PDF Page 69)
- 12. Staff Report Policy and Procedures for Requests for Handrails in Common Area (Attachment 4, PDF Page 93)



<u>Items for Future Discussion & Agendas:</u>

• Manor Alterations News Bulletin Topics

Concluding Business:

- 13. Committee Member Comments
- 14. Date of Next Meeting December 27, 2021
- 15. Adjournment



OPEN MEETING

REGULAR OPEN MEETING OF THE THIRD LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Monday, October 25 2021: 9:30AM-11:30AM Laguna Woods Village Community Center (Zoom) 24351 El Toro Road, Laguna Woods, CA 92637

REPORT

COMMITTEE MEMBERS PRESENT: Robert Mutchnick, John Frankel, Ralph Engdahl, James Cook

DIRECTORS PRESENT:

COMMITTEE MEMBERS ABSENT:

ADVISORS PRESENT: Michael Plean, Michael Butler

STAFF PRESENT: Robbi Doncost, Lauryn Varnum, Gavin Fogg, Richard DeLaFuente

1. Call to Order

Chair Mutchnick called the meeting to order at 9:30 AM.

2. Acknowledgement of Media

Zoom recording.

3. Approval of Agenda

Agenda was approved by consensus with the addition of Staff Report - Policy and Procedures for Handrails.

4. Approval of Meeting Report for September 27, 2021

The committee approved the meeting report by consensus.

5. Chair's Remarks

None.

6. Member Comments - (Items Not on the Agenda)

None.

7. Manor Alterations Division Update



Mr. Doncost updated the current status of the Manor Alterations ("MA") office, the loss of a senior staff member, and the addition of three new staff members. These staff members are actively being trained, the counter is open for appointments, the phones are being answered, and for future endeavors, Mr. Doncost pledged to ask for more clear direction from the committee for endeavors moving forward.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. Monthly Mutual Consent Report

Mr. Doncost stated that MA is still recovering from the gap in staffing, and predicted that within October, the quantity will decline slightly. Mr. Doncost stated that MA has met with the VMS governance, and will soon be implementing new technologies within the department. These include online applications, updated software, and more streamlined portals for residents. Training is occurring and it will take approx. 3 months to achieve full effective staff operations.

Items for Discussion:

9. Water Heater Standard Revision

Mr. Doncost summarized how the Third Board tasked MA to explore new materials for water heater enclosures, with the goal being updating the current standard. Mr. Doncost discussed the details presented, including the consultation with the maintenance department, and the potential new slabs and Hardi-Panel usage. After summarizing the report, Mr. Doncost stated that in order to move forward, MA can generate a proposal inclusive of potential costs for design and estimate of construction comparison.

Director Frankel made a motion to proceed with a proposal, Director Engdahl seconded. The motion carried by consensus, and Mr. Doncost pledged to gather costs and details to create a proposal for the ACSC to review.

10. Contractor Violation Policy

Mr. Doncost explained that the Contractor Violation Policy ("CVP") had been accepted by United Mutual and it would be beneficial for both Mutual's to incorporate this policy into their regulations. The CVP provides a framework for violations, suspensions, and a clear code of conduct for vendors to follow. Chair Mutchnick inquired what would occur if a contractor is working with multiple clients simultaneously and a violation occurred, expressing concerns that members may be left without contractors.

Mr. Doncost highlighted that the standard timeline of 180 days would be reduced to 90 days, thereby reducing the quantity of jobs a contractor can take on simultaneously. In the event more time was



needed for longer construction completion, it would be evaluated and addressed at MC issuance. In addition, there is a mechanism within the CVP to allow members to continue working with a contractor, even if they have violated terms on a different project.

Director Cook expressed concern that with COVID extending delivery times and supply chains have been affected, stating that a reduction in timelines may negatively affect members. Mr. Doncost agreed that supplies and deliveries have been affected, however there is a force majeure clause built into the CVP for just such an event. Director Cook requested a clause be added to the CVP in which a contractor would have the ability to notify MA directly if they felt their project moving out of alignment with timing and/or policy before receiving a violation notice. Mr. Doncost agreed to include this verbiage within the CVP.

Motion was passed by consensus to recommend approval of the CVP to the Third Board inclusive of the previously discussed edits.

11. ACM Comparison Report: Legal Involvement Progress & Dual Mutual Involvement

Mr. Doncost summarized the chart circulated previously, and recommended that both mutuals chart the same path regarding asbestos, and he had previously recommended the United ACSC reach out to Third. Chair Mutchnick stated he had received no contact as of yet, and asked the chart be distributed to the new ACSC members. Staff Officer Lauryn Varnum pledged to do so.

12. Alternative Wood Flooring Material

Chair Mutchnick highlighted that this issue had been raised by to residents complaining within multistory buildings. The Third ACSC was looking for recommendations to provide for residents looking to install new flooring and maintain sound deadening. Discussion ensued regarding the current standards, the method for evaluating subfloor materials, the evolution of flooring composites, and that this issue was not prevalent but still warranted review. Mr. Doncost stated that this was an ongoing process, and likely would be able to provide a few different options for review. These would be presented at future meetings. MA was tasked to explore material options ans potential evaluation criteria.

13. Alteration Fee Schedule

Chair Mutchnick explained that this proposal was sent back to the ACSC from the Board, and Director Cook had provided additional materials for review. Director Cook stated there was a need to simplify the variance process and reduce the staff hours necessary to review these proposals. Director Cook stated that since the City of Laguna Woods reviews all necessary codes, and each variance creates a precedent, so the goal should be to create more extensive standards.

Advisor Butler stated that prior to December 2016, the ACSC was a subcommittee under maintenance. Once created, the new order of business was to create new/review standards. Since this time, the volume of variance requests has reduced dramatically. Chair Mutchnick reminded the ACSC that there is also often confusion surrounding Common Area and Exclusive-Use Common Area, and why previous alterations were allowed. Advisor Butler stated that many alterations have been grandfathered in, and regulations have changed over time.



Discussion ensued regarding the staff hours necessary to process variances, the volume of requests, the last time the fees were adjusted in 2017, and that only three fees were affected: Unauthorized Alteration Fee; Variance Fee; Permit Valuation Fees. The committee requested that a revision be incorporated to note, "If a Standard does not apply to the request then a Variance procedure must apply."

A motion was passed by consensus to recommend the Board adopt the Revised Fee Schedule.

14. Staff Report - Policy and Procedures for Handrails

Mr. Doncost detailed the report, highlighting that the specific items for approval were generated in prior meetings, and the goal of the report is to streamline variances review regarding handrails. Director Cook asked to potentially move to a Standard and away from a Variance application. Director Mutchnick would further consider legal review, and either the approach to a Variance or and approval by Standard of handrails by MC over the counter issuance. After discussion regarding ADA code, the rules from the CA Fair Housing Act, and the necessary licensing for vendors, it was decided unanimously to table the Staff Report until a later date.

Chair Mutchnick read major points from Mr. Cook's "Third Mutual Members First" memorandum and emphasized certain points including: Variance considerations, more standards for consideration, and Fee Schedule considerations. Discussion was made regarding the pros and cons of how these types of revisions might be addressed.

Items for Future Agendas:

- Manor Alterations News Bulletin
- Flooring Material
- Handrail Staff Report

Concluding Business:

15. Committee Member Comments:

Advisor Butler commented on the benefit of the informative "decision tree" displayed within the Handrail Staff Report.

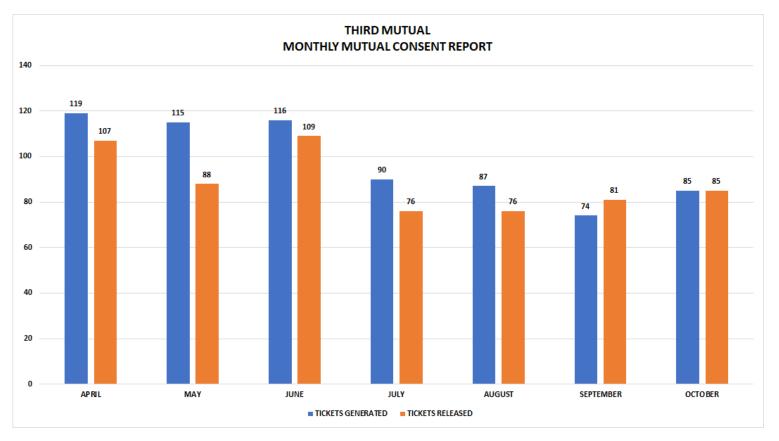
- 16. Date of Next Meeting November 22, 2021
- 17. Adjournment at 12:12PM

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|---|-------------------------|
| | Robert Mutchnick, Chair |

Telephone: (949) 268-2281

Robbi Doncost, Staff Officer





Average Numbers:

Phone in-take: received per day / responded to per day = 60 - 70 Received per day / 50 - 65 Responded per day

E-mail in-take: received per day / responded to per day = 50 - 60 Emails per day / 30 - 45 Responded per day

Counter Appointments: total for October /average per day = 52 In-Person Appointments in October / 3 - 5 Appointments per day *73 Total Appts. scheduled, 21 Appts. canceled after follow-up phone call to answer questions

Permit Release Timeline:

Class I Permits = 15 - 20 Business Days Class II Permits = 15 - 20 Business Days Class III Permits = 15 - 90 Business Days

*Plan Checks are performed within 5 - 7 days, delays are caused by staff training gap within the in-take division





STAFF REPORT

DATE: November 22, 2021

FOR: Architectural Control and Standards Committee

SUBJECT: Variance Request: Ms. Lisa Mills and Mr. Ron Phulps of 5417 (San

Marco, Plan C12C 2) Master Bedroom Addition, New Windows,

Third Bathroom Addition, and Interior Remodel

RECOMMENDATION

Staff recommends the Third ACSC approve the request for a master bedroom addition, new windows, third bathroom addition, and interior remodel with the conditions stated in Appendix A.

BACKGROUND

Ms. Lisa Mills and Mr. Ron Phulps of 5417 Via Carrizo, a San Marco style manor, requests Board approval of a variance for a master bedroom addition, new windows and skylights, third bathroom addition and interior remodel.

Due to there being no existing Standard plan for the proposed alterations, Staff seeks Board approval prior to issuing a Mutual Consent for the alterations.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Ms. Lisa Mills and Mr. Ron Phulps are proposing to remodel the existing kitchen, removing non-bearing walls, adding a third bathroom, extending a master bedroom addition into the back patio and adding additional windows and skylights, as part of a larger remodel project.

The kitchen remodel portion of the variance requires the removal of a window and the addition of a larger window in the remodeled dining area. There will also be two skylights added in the kitchen, which due to their larger than standard size impact the roof truss structural system. The new kitchen island will face into the new great room, creating a more open floorplan.

The master bedroom extension portion of the variance requires the removal of the existing patio enclosure. The enclosure sits on a patio slab which was previously extended into common area by 24". Per current common area usage policy, no new alterations may be approved on the common area portion of land and at the time of removal of the patio enclosure, the non-compliant full-width patio slab and the patio wall at the rear of the house shall be returned to the original exclusive-use common area depth of 8' from the

original rear exterior wall. The portion of the existing patio slab to be occupied by the room addition shall be demolished and replaced with a new slab, footings, and moisture barrier per the current building code, to match the existing interior floor slab elevation. Additionally, the master bedroom extension requires the removal of a significant portion of exterior wall at the rear of the house. Per the provided drawings, the extension is 14'-8" wide by the full original 8' patio depth. The addition will also incorporate (2) new 2'x4' windows, (1) 9'x5' egress window to the rear, and a 6'x6'-8" sliding glass door opening onto the new patio slab.

As part of the remodel, a third bathroom is to be incorporated within the unit. Per the provided plans, a second master suite is to be created by relocating the existing second bathroom to occupy part of the current Bedroom 3 area, with the remainder of the area becoming a utility/storage room with direct garage access. The existing master bath will be relocated to accommodate an office. This office space is effectively a relocated Bedroom 3. The third bathroom will be located outside the utility room among a cluster of closet spaces. Due to the significant rearrangement of rooms, the existing windows for the bedrooms and bathrooms will be removed, infilled, relocated and resized. All walls to be demolished shall be verified to be non-bearing prior to demolition.

Currently, there are no Mutual Consents open for the manor.

Staff recommends approval from the Board regarding the variance request for the following reasons. Ms. Mills and Mr. Phulps have submitted architectural drawings for the proposed alteration for review. As indicated on the plans, bedroom addition is contained by the original construction exclusive-use common area limits as shown in Appendix B. Although the requested modifications are significant, the addition does not increase the volume currently occupied by the existing patio enclosure. Similarly, the remodel should not cause a significant change to existing drainage, landscaping, or similar issues related to common area maintenance. The new window locations could potentially impact the immediate neighbors, however, a letter of acceptance from the only immediately adjacent neighbor at 5416 Via Carrizo has been provided.

Structural drawings will be submitted for review prior to issuance of the Mutual Consents for Demolition and Alteration. Specifically, cutting of roof trusses to accommodate the addition of skylights will not be allowed. The existing trusses are to remain intact. Additionally, the structural tie-in of the bedroom extension shall be addressed on the structural drawings.

All walls to be demolished shall be verified to be non-bearing prior to demolition.

Cutting of roof trusses to accommodate <u>any</u> alteration is prohibited. The existing trusses are to remain intact. See Conditions of Approval item 13.

The bedroom addition shall be contained by the limits of the original construction exclusive-use common area limits. The area of the existing patio slab to be occupied by the addition shall be demolished and replaced with a new slab, footings and moisture barrier per current building code, to match the existing interior floor slab elevation. An overpour will not be allowed. Additionally, the rear patio slab shall be returned to the original construction exclusive-use common area limitations per original tract map as shown in Appendix B. See Conditions of Approval items 14 and 15.

The existing plumbing lines need to meet size and slope fall of current code to accommodate any additional loads from new appliances and fixtures.

A City of Laguna Woods building permit final inspection would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Unit 5416 on November 16, 2021 due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at **5417**.

Prepared By: Richard de la Fuente, Alterations Inspector II

Prepared By: Gavin Fogg, Inspections Supervisor

Robbi Doncost, Manor Alterations Manager

ATTACHMENT(S)

Appendix A: Conditions of Approval

Appendix B: Tract Map Attachment 1: Scope

Attachment 2: Variance Application

Attachment 3: Photos Attachment 4: Map

APPENDIX A

CONDITIONS OF APPROVAL

- No improvement shall be installed, constructed, modified or altered at unit 5417, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- 2. A Variance for Unit Alterations has been granted at 5417 for a master bedroom addition, new windows and skylights, third bathroom addition, and interior remodel, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
- 3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
- 4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at **5417** and all future Mutual members at **5417**.
- 5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that

- all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- 6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
- 7. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.
- 8. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- 9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- 10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- 11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Unit Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- 12. Prior to the issuance of a Mutual Consent for Unit Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

- 13. Cutting of roof trusses to accommodate <u>any</u> alteration is prohibited. The existing trusses are to remain intact.
- 14. Rear patio slab shall be returned to original construction exclusive-use common area limitations per original tract map.
- 15. Room addition extents shall be limited by original construction exclusive-use common area limitations per original tract map. The area of the existing patio slab to be occupied by the addition shall be demolished and replaced with a new slab, footings and moisture barrier per current building code, to match the existing interior floor slab elevation. An overpour will not be allowed.
- 16. Prior to the Issuance of a Mutual Consent for Manor Alterations, the Member Owner must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed. The inspection will be a chargeable service to the Member Owner. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Manor Alterations staff to review.
- 17. Prior to the Issuance of a Mutual Consent for Alternations, if required, the Manor Owner shall verify with Plumbing if the manor plumbing has been treated with an ePIPE Epoxy Barrier, to assure that Mutual property is appropriately addressed during construction. Any repair or connection to the epoxy coated pipe should be performed in such a manner that the repair or the remodel of the existing system does not damage the epoxy barrier. Before repairing or remodeling any ACE Duraflo epoxy barrier, call 800-359-6369 to ensure the proper technique is used for the specific repair or remodel.
- 18. Prior to the issuance of a Mutual Consent for Unit Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
- 19. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape irrigation, and drainage modifications associated with the improvements

- are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
- 20. Prior to the issuance of a Mutual Consent for Manor Alternations, the Member Owner shall request a Maintenance and Construction Department inspection to assure that Mutual property is appropriately addressed during construction.
- 21. Prior to the issuance of a Mutual Consent for Unit Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
- 22. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See http://www.lagunawoodsvillage.com.
- 23. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- 24. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- 25. During construction, both the Mutual Consent for Unit Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- 26. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- 27. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- 28. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- 29. The Mutual Consent for Unit Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

- 30. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- 31. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

APPENDIX B TRACT MAP 19

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SCALE 1 = ACREAGE NO. LOTS

CONDOMINIUM PLAN FOR LOTS 3 AND 8 OF

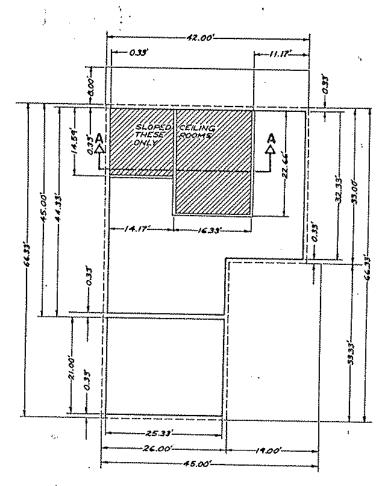
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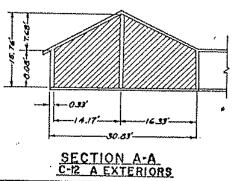
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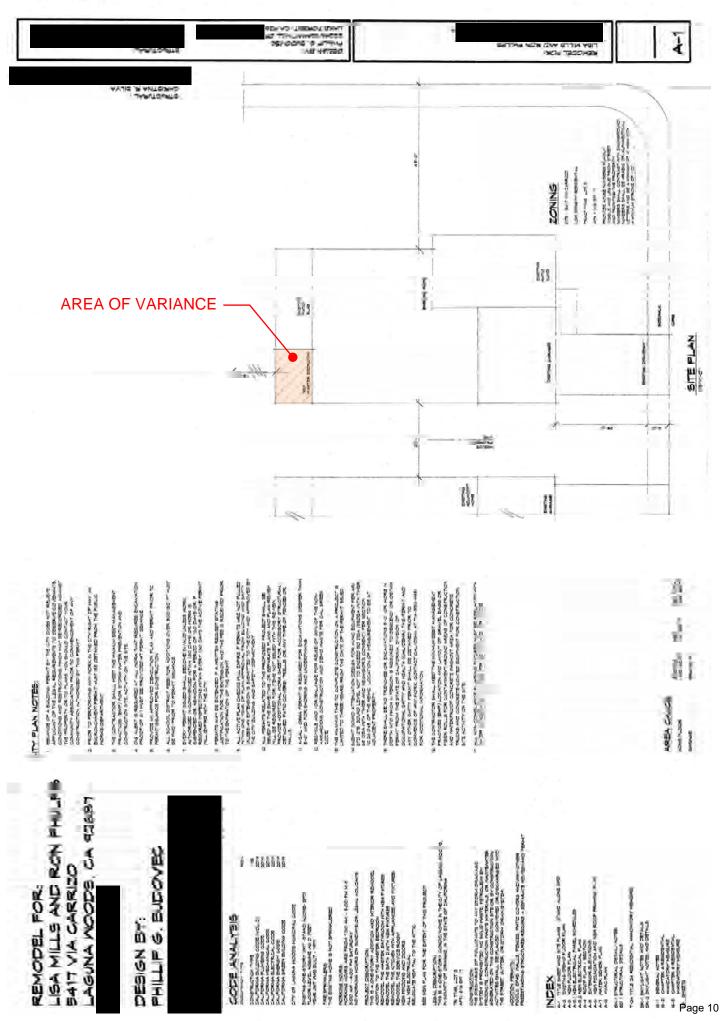
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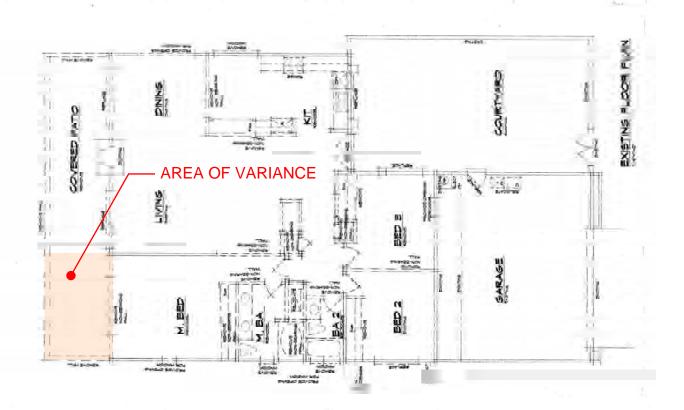


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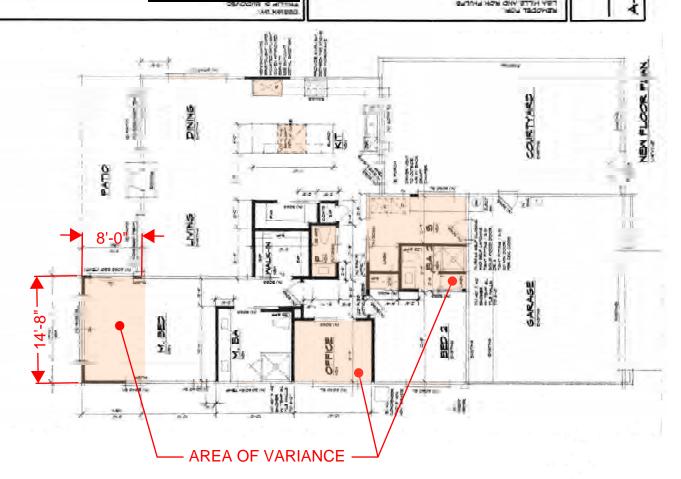






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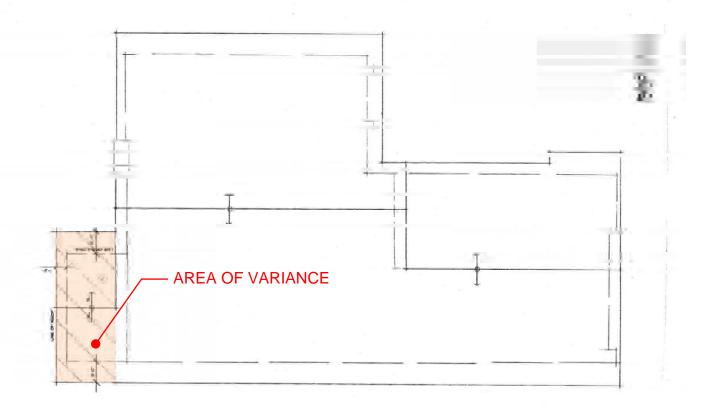
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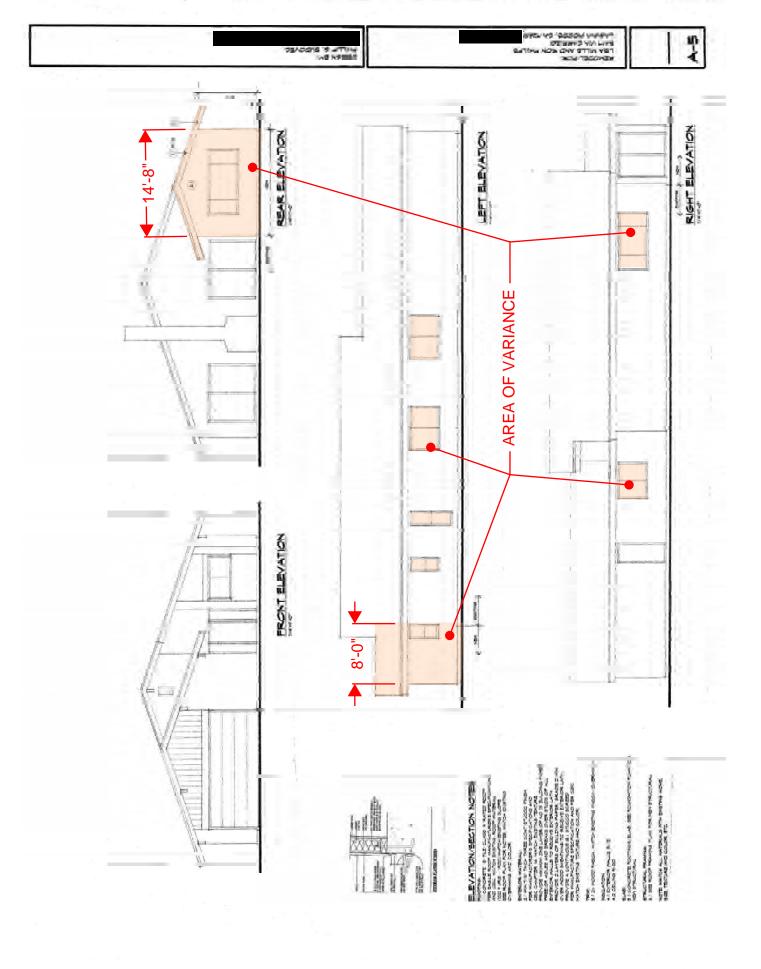
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Page 12











ATTACHMENT 2 APPLICATION

| MANOR #_ | 5417 |
|----------|------|
| □ULWM | TLHM |

Variance Request Form

| MANOR #_ | 3411 |
|----------|--------|
| ULWM | □/TLHM |

SA

| Model: San Marco | Plan: | Date: 9-21-21 |
|--|---------------|-------------------------------|
| Member Name: Ron Phu | Signatu | Isa Chille Ron Ruels |
| Phone | E-mail | |
| Contractor Name/Co: | Phone: | |
| Owner Mailing Address: (to be used for official correspondence) | | |
| Description of Proposed Variance | Request ONL' | LY: |
| i) Master F | Bedroom | n extension |
| 2) new Win | ndows in | in dining room, office |
| av | id ma | uster bedroom |
| 3) Third b | athroor | m - sink a toilet only |
| 4) Door to | | |
| | 0 4 | |
| Dimensions of Proposed Variance | Alterations O | ONLY: |
| Master Bo | edroom | 7 8'X14.8" 147 sq.6t. |
| | | |
| | | |
| | FOR OFFI | ICE USE ONLY |
| RECEIVED BY:DAT | | Check#BY: |
| Alteration Variance Request | Comp | plete Submittal Cut Off Date: |
| Check Items Received: | Meetin | ngs Scheduled: |
| □ Drawing of Existing Floor Plan | Third A | AC&S Committee (TACSC): |
| □ Drawing of Proposed Variance | United | d M&C Committee: |
| □ Dimensions of Proposed Varia | ince | Meeting: |
| □ Before and After Pictures | | |
| Other: | Der | enied - Approved |
| | □ Tab | bled |

September 20, 2021

Alterations Department/Variance Request Laguna Woods Village 24351 El Toro Road Laguna Woods, CA 92637

Subject: 5417 Via Carrizo (San Marco Model)

Dear Staff:

We purchased our home in August 2021 and are planning a complete remodel. The home is mostly original with the exception of the sunroom on the back. We have hired a professional contractor, Bill McFadden, who understands the rules, regulations and insurance requirements for Laguna Woods. After we complete the variance process, our contractor will complete the permit applications for construction.

Our conceptual drawings and preliminary plans of the proposed alteration are attached. In summary, the variances are:

- Third bathroom (sink and toilet)
- New windows in dining room, office area and master bedroom
- · Door to garage
- Master bedroom expansion

We will remove the entire sunroom which extends out beyond the footprint of the home. The master bedroom expansion will stay within the original patio footprint.

We have discussed the changes with our only neighbors, George and Jean Hammontree (5416 Via Carrizo). They have endorsed our plans. Their letter of support is included.

We look forward to working with you and improving our home. We are anxious to get started, hopefully, we can move in early next year. Please call us with any questions.

4 Km Phulss

Sincerely,

Lisa Mills and Ron Phulps

September 20, 2021

Alterations Department/Variance Request Laguna Woods Village 24351 El Toro Road Laguna Woods, CA 92637

Re: Proposed remodel at 5417 Via Carrizo, Laguna Woods

As the only neighbors adjacent to 5417 Via Carrizo, we have reviewed the proposed remodel regarding additional windows and the Master bedroom expansion. We have no objections to these improvements.

Sincerely,

George and Jean Hammontree

ATTACHMENT 3 PHOTOS



FRONT ENTRY FROM STREET



WEST SIDE OF MANOR



EAST SIDE OF MANOR



REAR ELEVATION OF PATIO ENCLOSURE



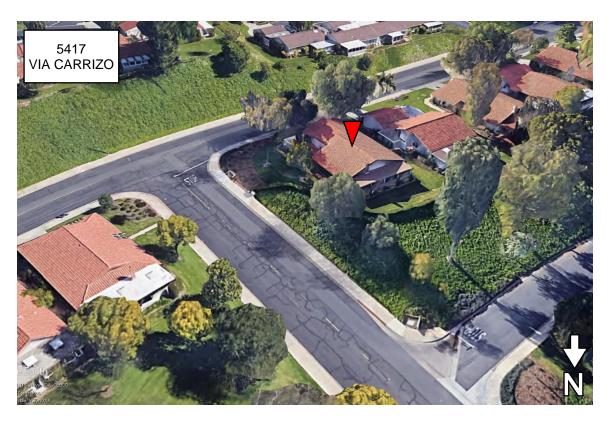
REAR CORNER - LOCATION OF ADDITION



FRONT ELEVATION

ATTACHMENT 4 AERIALS









STAFF REPORT

DATE: November 22, 2021

FOR: Architectural Control and Standards Committee

SUBJECT: Variance Request: Ms. Susan Nam of 5560-A (Casa Lorenzo, Plan

RC12) Kitchen Remodel with Structural Changes

RECOMMENDATION

Staff recommends the Third ACSC approve the request for a kitchen remodel with structural revisions with the conditions stated in Appendix A.

BACKGROUND

Ms. Susan Nam of 5560-A Via Portora, a Casa Lorenzo style manor, requests Board approval of a variance for a kitchen remodel with structural changes.

Due to there being no existing Standard plan for the proposed alterations, which requires structural changes to the unit, Staff seeks Board approval prior to issuing a Mutual Consent for the alterations.

Plans and specifications have been submitted for review (Attachment 1).

DISCUSSION

Ms. Nam is proposing to remodel the existing kitchen, removing interior supporting walls and introducing new support columns and beams, as part of a large remodel project.

The existing kitchen cabinetry and appliances will be expanded into the existing nook area. The new kitchen island will face into the new great room, creating a more open floorplan.

Currently, there is one Mutual Consent open for the manor, which is the alteration application regarding this remodel.

Staff recommends approval from the Board regarding the variance request for the following reasons. The requested modifications are interior to the manor, and represent no concern with respect to view from neighboring manors, or anyone else. Ms. Nam has submitted architectural and structural drawings for the proposed alteration

The existing plumbing lines need to meet size and slope fall of current code to accommodate any additional loads from new appliances.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

A Neighbor Awareness Notice was sent to Units 5559-B, 5560-A, 5561-A, and 5561-B, on November 16, 2021 due to sharing common walls, having line of sight, or being potentially affected during construction.

At the time of writing the report, there have been no responses to the Neighbor Awareness Notices.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at **5560-A**.

Prepared By: Richard de la Fuente, Alterations Inspector II

Prepared By: Gavin Fogg, Inspections Supervisor

Robbi Doncost, Manor Alterations Manager

ATTACHMENT(S)

Appendix A: Conditions of Approval

Attachment 1: Scope

Attachment 2: Variance Application

Attachment 3: Photos Attachment 4: Map

APPENDIX A

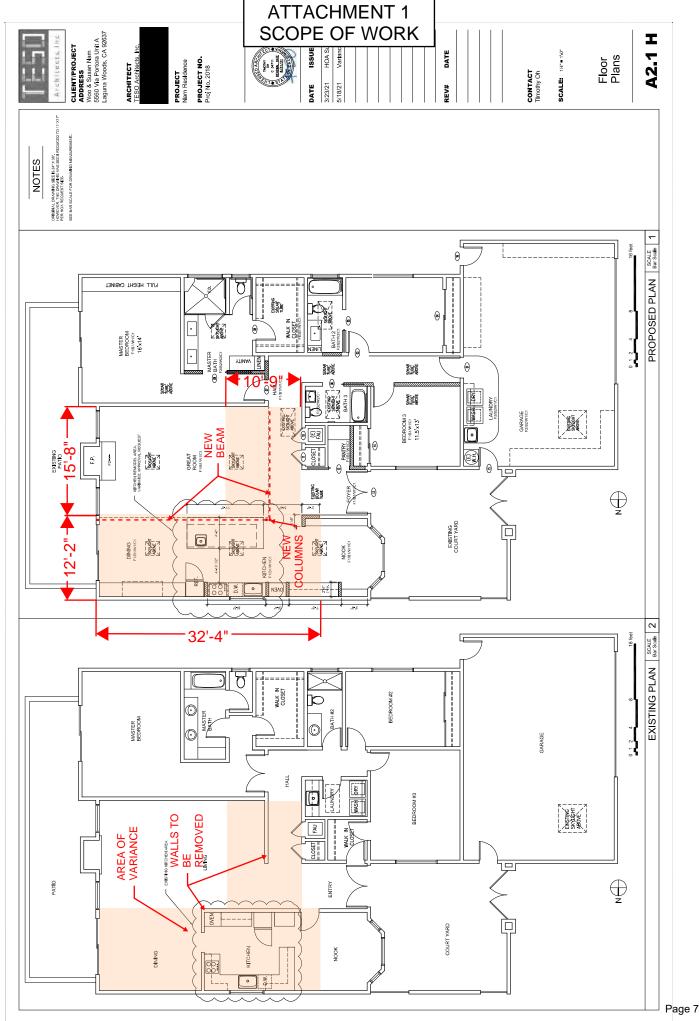
CONDITIONS OF APPROVAL

- 1. No improvement shall be installed, constructed, modified or altered at unit **5560-A**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- 2. A Variance for Unit Alterations has been granted at 5560-A for a kitchen remodel with bearing wall removal, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
- 3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
- 4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at **5560-A** and all future Mutual members at **5560-A**.
- 5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for

- informing all his/her invitees of the Mutual's Rules and Regulations.
- 6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
- 7. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.
- 8. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- 9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- 10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- 11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Unit Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- 12. Prior to the issuance of a Mutual Consent for Unit Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

- 13. Prior to the Issuance of a Mutual Consent for Alternations, if required, the Manor Owner shall verify with Plumbing if the manor plumbing has been treated with an ePIPE Epoxy Barrier, to assure that Mutual property is appropriately addressed during construction. Any repair or connection to the epoxy coated pipe should be performed in such a manner that the repair or the remodel of the existing system does not damage the epoxy barrier. Before repairing or remodeling any ACE Duraflo epoxy barrier, call 800-359-6369 to ensure the proper technique is used for the specific repair or remodel.
- 14. Prior to the issuance of a Mutual Consent for Unit Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
- 15. Prior to the issuance of a Mutual Consent for Manor Alternations, the Member Owner shall request a Maintenance and Construction Department inspection to assure that Mutual property is appropriately addressed during construction.
- 16. Prior to the issuance of a Mutual Consent for Unit Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
- 17. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See http://www.lagunawoodsvillage.com.
- 18. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- 19. Paver install must be set in compacted subgrade.
- 20. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

- 21. During construction, both the Mutual Consent for Unit Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- 22. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- 23. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- 24. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- 25. The Mutual Consent for Unit Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- 26. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- 27. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.





ATTACHMENT 2 APPLICATION

| MANOR #_ | 5560 A |
|----------|---------------|
| ПШММ | ⊠ TLHM |

| Variance | Request | Form |
|----------|---------|------|
|----------|---------|------|

| | Varian | ice Request | Form § | SA | |
|------------------------|-----------------------|---|-------------|----------|---------------|
| Model: | Casa Lorenzo | Plan: | C12 | Date: | May 18, 2021 |
| Member Name: Susan Nam | | Signature | Nan | | |
| Phone: | | Email: | | | |
| Contractor Nam | e/Co: Kay Jeon | Phone: | | Email: | |
| Description of P | roposed Variance Requ | est ONLY: | | | |
| | Kitchen Re | emodel needs | s some stru | ctural | work. |
| | See Attach | ned Structura | Dwgs & C | alcula | tions |
| | | F EXISTING BEA TURAL COLUMN | | | STALLATION OF |
| | GR | x 12' Kitcher EAT ROOM: 168 CHEN/DINING R | SF | | |
| | | OR OFFICE USE O | | | |
| RECEIVED BY: | DATE RE | CEIVED; | Check# | | BY: |
| Alteration Va | riance Request | Complete Sui | | Off Date |); |
| Check Items Red | celved: | Meetings Scheo | luled: | | |
| | Existing Floor Plan | Third AC&S Com | mittee : | | |
| | Proposed Variance | United AC&S Cor | nmittee: | | |
| | of Proposed Variance | Board Meeting: _ | | | |
| ☐ Before and A | After Pictures | ☐ Denied | ☐ Appro | 51.00 | |
| | 3 | | | | |
| | | ☐ Tabled | ☐ Other | | |

ATTACHMENT 3 PHOTOS



NOOK



KITCHEN (TOWARD NOOK)



KITCHEN (TOWARD DINING ROOM)



LIVING ROOM (VIEW TOWARD FIREPLACE)

ATTACHMENT 4 AERIALS









STAFF REPORT

DATE: November 22, 2021

FOR: Third Architectural Control & Standards Committee

SUBJECT: Water Heater Enclosure Comparison Cost

RECOMMENDATION

Staff recommends the Third ACSC approve one of three following options:

- 1. Option One: Approve Manor Alterations (MA) to contract with the low bidder design professional to revise the standard drawings towards the future approval of a new rot resistant water heater resolution, or
- 2. <u>Option Two</u>: Authorize a Resolution to prohibit the further use of Standard 32 and Water Heater relocations into Common Area.
- 3. Option Three: Status Quo

BACKGROUND

Standard 32 – Water Heater Relocation exists as a resolution for mutual consent permit issuance. The addition of water heaters to common area does not require a variance at present, and is issued over the counter by MA per original resolution dated August 1992, and lastly by revised March 2019, Resolution 03-19-34.

Water Heater cabinets are currently constructed of non-pressure treated wood framing and $\frac{1}{2}$ " thick T-111 plywood veneers per the existing Standard 32. These materials are susceptible to rot, which require continued maintenance by the members, as these cabinets are considered Alterations. MA and the Compliance divisions are tasked with the initial notice and follow up in the obligation of water heater enclosure compliance.

Option One: During the October 25, 2021 ACSC meeting, Manor Alterations (MA) was asked to investigate the cost to revise the current Resolution Standard 32 (Attachment One), with an alternative material. Specifically, a more rot resistant material was requested. Attachments Two and Three denote the requested design and construction estimates for consideration.

Option Two: Manor Alterations questions the use of Standard 32 and the desire of the mutual to continue the use of Common Area for the purpose of water heater relocations. In order to prohibit further encroachment into Common Area, a Resolution would need to be approved.

Option Three: Status Quo; No funds will be utilized for the research and design of an alternative Water Heater enclosure and no changes to the Water Heater Relocation Standard 32 will be made.

Page 43 of 99

DISCUSSION

Option One: New Water Heater Standard Upgrade

It should be noted that many of the manors' electrical systems are at maximum capacity with no ability to accommodate an increase in electrical load without significant cost to the Member via an electrical panel upgrade. The current panel readily allows the gas tank heaters. Gas supply is limited to only a few buildings in the 5000s area, which prohibits this as an option for the majority of manor's water heating needs. Therefore, the majority of the water heaters are electric water heated. While there is a possibility for the adjustment to tankless water heaters, this endeavor would be complicated and costly. Tankless electric is no desirable due to the added electrical requirements. Each one needs (3) 30-amp breakers dedicated, this is not possible with the current electrical service panels and would require significant upgrades to the electrical panels in the manors. Gas service is only provided to a very few manors in Third. If the mutual continues to allow these external water heater cabinets, then it is beneficial to consider alternative materials and added landscaping.

Tank water heater enclosure replacement comparisons indicate that the new design would cost approximately \$408 more to build the rot resistant design than the existing enclosure. The design cost is estimated at \$5,110.00.

If the ACSC approves of the cost for the design changes, and the Board approves of the expenditure, then Staff would hire the design professional to revise the existing drawings. Staff would then provide a new Standard for Water Heater Enclosures to present to the ACSC at a future meeting, inclusive of these edited drawings.

Option Two: Prohibition of Water Heaters in Common Area

Some members have noted in correspondence to MA, concerns about the enclosures, stating that the exterior cabinets take up common area, and they compromise the aesthetics of the Village. They further asked that the external cabinets be re-considered by the ACSC and potentially not allowed in the mutual. It has been suggested that alternative tankless heaters be used inside the manors in lieu of these exterior cabinets. Interior tankless heaters are not feasible without electrical upgrades to the electrical panels.

MA also questions the benefit to the mutual of relocation of personal components, such as water heaters, into the public common areas. The enclosures do look out of place aesthetically and are not fully interrelated into the architecture of the buildings. It is for these reasons that MA is of the opinion that the Standard 32 be eliminated by new resolution.

Interior relocations of water heaters would not be affected by the removal of Standard 32. Interior relocations fall under separate interest alterations, which do not carry the same restrictions as alterations on common area.

Option Three: Status Quo

Mutual Standard 32 will remain in place as is, offering the existing design options for exterior water heater enclosures.

FINANCIAL ANALYSIS

<u>Option One</u>: A Construction Estimate Form Comparison is shown in Attachment Three - Financial Analysis.

Option Two: No additional costs will be incurred by the Mutual.

Option Three: No additional costs will be incurred by the Mutual.

Prepared By: Robbi Doncost - MA Manager

Reviewed By: Gavin Fogg - MA Supervisor

Bart Mejia – M & C Deputy Director

Committee Routing: Third ACSC Committee

ATTACHMENT(S)

Attachment One - Standard 32 Water Heater Relocation with Redlined Comments Attachment Two - Request for Design Consulting Services Standard 32 Revision Attachment Three – Request for Construction Estimate of Standard 32 Revision Attachment Four – Financial Analysis of Option One Attachment Five – Option 1 Summary, Option 2 Resolution, Option 3 Summary

A future resolution would be drafted after acceptance of either a design or prohibition alternative to the information provided herein.

Page 45 of 99

Attachment One - Standard 32 Water Heater Relocation with Redlined Comments



PROPOSED REVISIONS IN RED

STANDARD 32: WATER HEATER RELOCATION

AUGUST 1992
REVISED MAY 2003, RESOLUTION 03-03-45
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED MARCH 2019, RESOLUTION 03-19-34

POTENTIAL NEW STANDARD FOR WATER HEATERS

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

2.0 APPLICATIONS

- 2.1 Water heaters located outside of the manor must be enclosed in an exterior storage cabinet. Cabinets must match the exterior finish (i.e.stucco) in material and color of the building. Future costs for the maintenance of the cabinet will be at Mutual member's expense.
- 2.2 The cabinet shall be designed to conceal a single water heater. Any deviation from this Standard, such as to allow for a water softener, must have approval from the Alterations Division and meet all other existing Mutual Standards.
- 2.3 Water heaters located outside of the manor must respect the view of an adjacent manor. The Alterations Division must approve of the proposed location of the water heater for aesthetic and/or maintenance purposes prior to a Mutual Consent being issued.
- **2.4** All exterior water heaters will be placed on a concrete pad, or approved equal.
- 2.5 All exterior water heaters shall be concealed, where possible, by landscape. All such landscape installations or modifications in Common Area will be performed by the VMS Landscape Division and paid for by the Mutual member.
- 2.6 No units will be located on the exterior of the dwelling unit except as outlined in this section.
- **2.7** Pressure and temperature relief valves and related drainage lines for the water heaters, must be installed to all applicable Building Codes.

ATTACHMENT 2
STAFF REPORT - WATER HEATER ENCLOSURE



- **2.8** Water heaters which are being relocated on the interior of a manor are required to install a leak detection device and drain pan per Code.
- 2.9 All water heaters which are found to be in service for a duration of 10 years, of an indeterminable age or in disrepair will require replacement.

3.0 PLUMBING

- 3.1 All plumbing supply and distribution lines will be of Type L copper or PEX per applicable code. No galvanized or PVC fittings will be allowed.
- 3.2 Pressure and temperature relief valve drainage lines will be of type L copper or CPVC pipe per code and all new installations on the exterior must drain to the exterior.
- 3.3 No exposed plumbing will be permitted for relocated units. All plumbing and required insulation will be enclosed with an approved Thermo Cell cover and painted to match the surface it is on.
- **3.4** All penetrations through exterior walls shall be completely sealed and water-tight.
- 3.5 Any change in the water heater tank, or new tank installed at time of relocation of the water heater will be 100% at the Mutual member's expense.

4.0 ELECTRICAL

- **4.1** All exterior conduit placement must first be approved by the Alterations Divison.
- **4.2** Exposed rigid conduit shall be painted to match the surface it is on.
- **4.3** All electrical conductors shall be installed in rigid or flexible conduit.

5.0 **STRAPPING**

5.1 All new or relocated water heaters will be anchored or strapped to resist horizontal displacement due to earthquake motion to meet all applicable Building Codes.

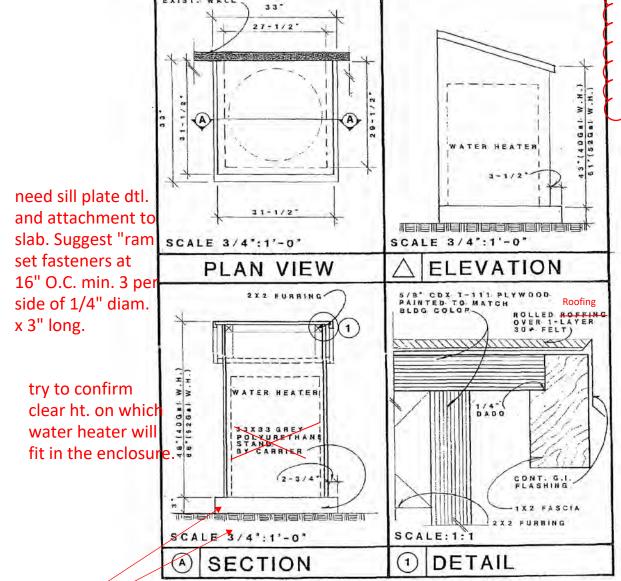
6.0 LANDSCAPING

The member shall make arrangements with VMS Landscaping to confirm and/or re-route all sprinkler irrigation heads so that irrigation water does not contact the new water dealer enclosure. The member shall bear all cost associated with the property water the three concerns as sprinkler system. Verification of the sprinkler system conformity to this paragraph shall be made in writing to Manor Alterations.

No reference to if the enclosure is to be locked and who is allowed access.

Attachment One continued - Standard 32 Water Heater Relocation with Redlined Comments





Alternatives to the 5/8" CDX could be: 1. 7/8" Stucco veneer 2. Composite siding. LOOKING FOR ALTERNATIVES HERE.

Arch. roofing spec is more attractive it could match building roofing.

*All framing, blocking, & plates to be 2X4 pressure treated wood material. No untreated wood material is allowed.

WATER HEATER STORAGE CABINET

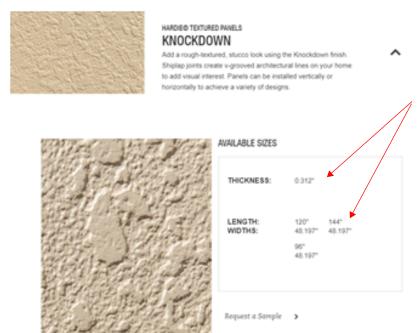
Typically it is preferred to have a 4" concr. slab of 2,000 psi conc., w/ 8X8 W.W.F., and an 8" deep by 12" wide perimeter footing. Slab over 4" sand or agregate base material on 24" compacted sub-grade.

Details do not show access door, hardware, or conc. pad alternative. this should be provided w/ dtl.

ATTACHMENT 2 STAFF REPORT - WATER HEATER ENCLOSURE Page 6

Attachment One continued - Standard 32 Water Heater Relocation with Redlined Comments

The exterior siding panels come in multiple textures. It still needs to be painted.https://www.jameshardie.com/products

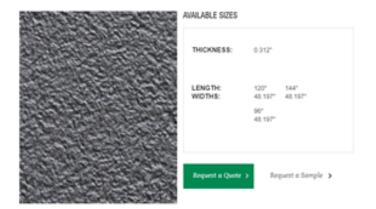


Review this knockdown textured panel with compatibility with existing building thickness: .312"

length: 120" 144" widths: 48.197" 48.197"

96" 48.197"





Consultant Scope of Work 10/27/2021

General Information: The purpose of this memorandum is to provide sufficient information to the consultant in the preparation of a cost estimate for the drafting, architectural services, and Alternative to include Plan Check services described herein.

Manor Alterations Standard 30: This Standard for Water Heater Relocation describes in text and drawing the requirements of a water heater relocation the residents may be allowed to construct at issuance of a mutual consent. The focus of this request is the re-drawing of the four (4) page 4 drawings of Plan View, elevation, section, and Detail with specifications of construction incorporating the redlined notes into a final digital product for MA issuance with Mutual Consents.

As noted by the redlines, MA is attempting to eliminate wood rot and use more durable material for longevity. The addition of the Hardi Panels and their specification is a vital component of this revision.

Additional Provisions

- VMS as agent for the Mutual, shall be allowed to retain rights and license to the use and
 distribution of this detail, for its intended purpose, issued to residents and contractors for their
 use in constructing the water heater enclosures throughout the Laguna Woods Village at both
 United and Third Mutuals, at its sole and absolute discretion.
- 2. VMS as agent for the Mutual, shall be allowed to retain the AutoCad (or electronic equivalent) file for future revisions to this heater cabinet detail. VMS shall indemnify Consultant for any changes made to the original work product provided by the Consultant.

The architectural drafting and design bid should include the following attached Bid Form.

| BID | FORM | | Oct. 27, 20 |)21 | | | | | |
|------|------------|---------------|--------------|--------------|-------------|--------|----------|----------|------|
| | Drafting | | | | | | | | |
| 1 | Drafting o | f min. (4) ne | ew Dtls. | | | \$ | - | | |
| 2 | Provide M | tl. Flashing | and Caulkir | ng Spec at E | x. Wall | \$ | - | | |
| 3 | Provide N | ew Door Dt | ls. And Har | dware Spec | ; | \$ | - | | |
| 4 | Notes on | Dwgs. Refle | cting Redli | nes | | \$ | - | | |
| 5 | New Slab | Design, Pair | nt Colors | | | \$ | - | | |
| 6 | Provide Ha | ardi-Panel N | lotes & Dtl | 5. | | \$ | - | | |
| | | | | | Subto | tal Dr | afting | \$ - | |
| | | | | | | | | | |
| | 1st Reviev | v & Revisior | าร | | | | | | |
| 7 | Transmit [| Docs to MA | for Review | and Comm | nent | \$ | - | | |
| 8 | Pick Up M | A Comment | ts for Final | Product | | \$ | - | | |
| | | | | | Subtotal | 1st R | eview | \$ - | |
| | | | | | | | | | |
| ALTE | RNATIVE C | OST FOR CI | TY PLAN C | HECK | | | | | |
| 9 | Plan Chec | k w/ City L.\ | W. | | | \$ | - | | |
| 10 | Pick Up of | all City Cor | nments Rea | ady for issu | ance | \$ | - | | |
| | | | | Subtotal | Alternate | Plan | Check | \$ - | |
| | | | | | | | | | |
| | | | | | GRAND | TOT | AL BID | COST* ** | \$ - |
| | | | | | | | | | |
| | * All plan | check fees t | o be reimb | ursed by VI | MS as an ad | dition | al expen | se. | |
| | - | all reimbur | | • | | | • | | |
| | 1 | noted above | | | | | • | - | |
| | | | | | | | | | |

EXHIBIT "A" – Standard 30: Water Heater Relocation Robbi's Comments 10/1

OBJECTIVE

1. The mutuals have asked MA to review the current Standard and provide an alternative AGUNA WOODS to WOOD construction.

STANDARD 30: WATER HEATER RELOCATION

MAY 1996

REVISED SEPTEMBER 2003, RESOLUTION 01-03-132
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
REVISED DECEMBER 2019, RESOLUTION 01-19-103
POTENTIAL NEW STANDARD FOR WATER HEATER

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1 Water heaters located outside of the unit must be enclosed in an exterior storage cabinet. Cabinets shall be textured (to match exterior building wall) or paneled and painted to match the color of the building. Cabinets shall be painted on all sides (inside and out). Future costs for the maintenance of the cabinet will be at Mutual member's expense.
- 2.2 All storage cabinets will be constructed per standard plan drawings available at the Permits and Inspections OfficeIn the Community Center. Manor Alterations.

The cabinets are designed to conceal a single water heater. Any deviation from the Standard Plan, such as to allow for a water softener, must have approval from the Permits and Inspections Office and meet all other existing Mutual Standards.

Manor Alterations.

- 2.3 Water heaters located outside of the unit must respect the view of an adjacent unit. The Permits and Inspections Officemust approve of the proposed location of the water heater for aesthetic and/or maintenance purposes prior to Mutual Consent for the alteration being issued.
- 2.4 All exterior water heaters will be placed on a concrete pad, or approved equal.
- 2.5 All exterior water heaters shall be concealed, where possible, by landscape. All such landscape installations or modifications in Common Area will be performed by the VMS Landscape Division and paid for by the Mutual member.



- 2.6 No units will be located on the exterior of the dwelling unit except as outlined in this section.
- 2.7 Pressure and temperature relief valves and related drainage lines for the water heaters, must be installed per current Uniform Building Code and Uniform Plumbing Code. Drain line should lead directly to exterior of building. Certain relocations may be permitted to drain to a smitty pan, only with prior approval from the Permits and Inspections Office.
- 2.8 All exterior water heaters are required to be wrapped in a R-11 insulated blanket or equal.
- 2.9 All installations shall meet code regulations for adequate earthquake strapping.

3.0 PLUMBING

- 3.1 All plumbing supply and distribution lines will be of Type L copper. No galvanized or plastic pipe fittings will be allowed.
- 3.2 Pressure and temperature relief valve drainage lines will be of type L copper or CPVC pipe.
- 3.3 No exposed plumbing will be permitted for relocated units. All plumbing and required insulation will be enclosed with an approved Thermo Cell cover and painted to match the surface it is on.
- 3.4 All penetrations through exterior walls shall be completely sealed and water-tight.
 is installed
- 3.5 Any new or replaced water heater tank that isinstalled at time of relocation, will be 100% at the Mutual member's expense.

EXCEPTION: Any existing tank exceeding the serviceable life (10 year Lifecycle Program) of the water heater, as set by the Mutual, will be replaced by the Mutual at no cost to the resident

4.0 ELECTRICAL

Manor Alterations.

4.1 All exterior conduit placement must first be approved by the VMS Permits and Inspections Office

Page 53 of 99



- 4.2 All installations shall meet electrical codes.
- 4.3 Dimensions shown on the enclosure detail are an approximate.

 Depending on the size of the water heater and the R-11 blanket, the dimensions many be larger.

5.0 **STRAPPING**

5.1 All new or relocated water heaters will be anchored or strapped to resist horizontal displacement due to earthquake motion per the current edition of the Uniform Building Code.

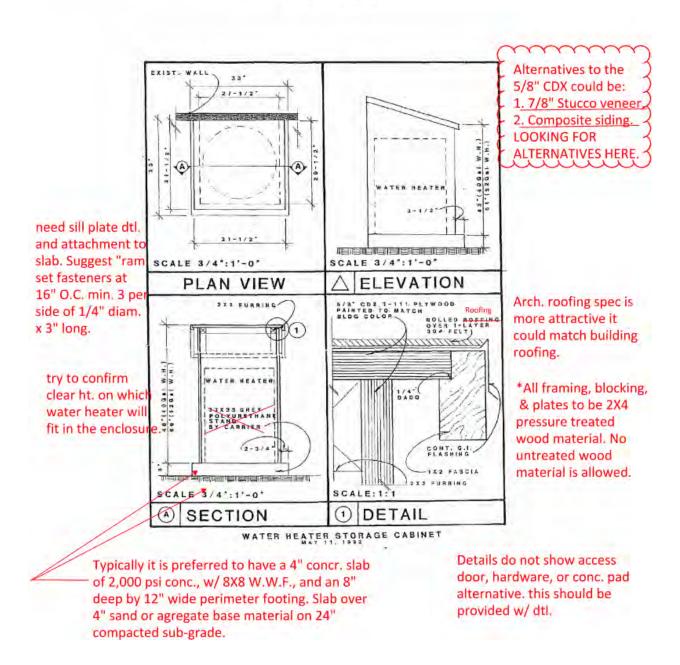
6.0 LANDSCAPING

The member shall make arrangements with VMS Landscaping to confirm and/or re-route all sprinkler irrigation heads so that irrigation water does not contact the new water heater enclosure. The member shall bear all cost associated with any revision to the Common Area sprinkler system. Verification of the sprinkler system conformity to this paragraph shall be made in writing to Manor Alterations.

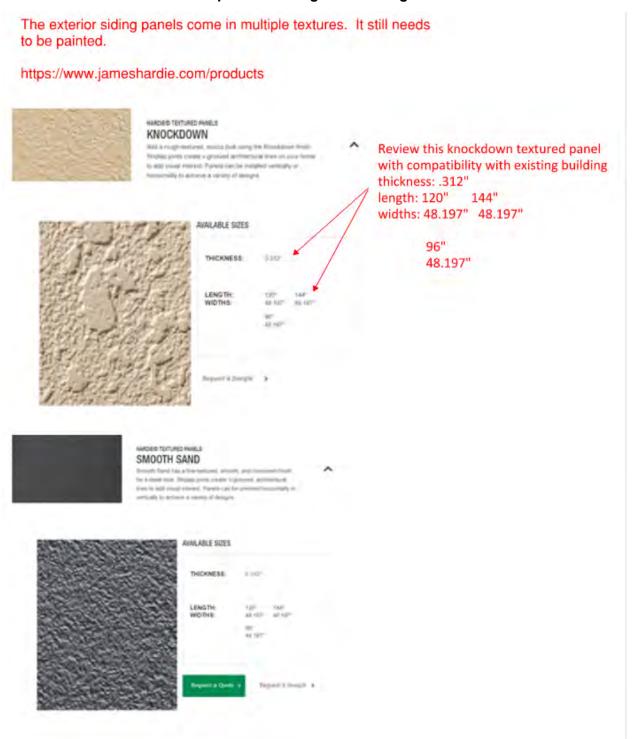
Page 54 of 99

No reference to if the enclosure is to be locked and who is allowed access.





ATTACHMENT 2 STAFF REPORT - WATER HEATER ENCLOSURE Page 13



Schedule of Performance: The successful bidder shall provide the work product in the following time allowances;

1. MA Receipt of 1st Draft Drawings 2 Weeks of Contract Signing

2. MA Comments (not a part of schedule) 1 Weeks of Receipt

3. MA Receipt of Final Drawings with Specs 1 Weeks of Receipt of MA Comments

Payment: Final Payment shall be made to the Consultant within 45 calendar days after the satisfaction of the following pre-requisites for payment;

- 1. Consultant satisfaction of the Schedule of Performance,
- 2. VMS receipt of the Final Drawings with Specifications,
- 3. Completion of the Work, Mechanic's Lien Release, and VMS receipt of a final invoice.

Consultant shall execute VMS standard vendor contract for the Work described herein. Other provisions shall apply and are not indicated within this Request for Consultant Services.

It is the intent of VMS to award the contract to the lowest and most qualified bidder. The Due Date of the Bid Form is November 5, 2021 by end of day. Bid may be emailed to Robbi.Doncost@vmsinc.org. If you have any questions or clarifications you may ask them up to and including November 3, 2021.

I look forward to receiving you Bid on November 5, 2021. Thank you in advance for the effort.

Request for Construction Estimate of Standard 32 Revision 10/27/2021

General Information: The purpose of this memorandum is to request a preliminary construction estimate to compare the cost of the standard Current water heater enclosure to the cost to construct the new Proposed Standard 30 Revision (attached for your use).

Manor Alterations Standard 30: This Standard for Water Heater Relocation describes in text and drawings the requirements of a water heater relocation the residents may be allowed to construct at issuance of a mutual consent. The future work, as noted by redlines, would be revised by a design consultant for a new standard. The changes include the redlined comments which would be the redrawing of the four (4) page 4 drawings of Plan View, elevation, section, and Detail with specifications of construction incorporating the redlined notes into a final digital product for MA issuance with Mutual Consents.

The construction estimate is indicated on the Estimated Construction Cost Form:

| Cor | struction Estimate Form | omparision | | Oct. 27 | , 2021 | |
|-----|--------------------------------|----------------------------|-------|---------|--------|--|
| | Current Standard 30 Water Hea | r (w/o redline work) | | | | |
| 1 | Pre-Manuf. Carrier 33x33 stand | \$ | - | | | |
| 2 | Wood Fram'g Walls & Roof | \$ | - | | | |
| 3 | Rolled Roofing | \$ | - | | | |
| 4 | Painting of T-111 | \$ | - | | | |
| 5 | Door and Hdw'r | \$ | - | | | |
| 6 | Mtl. Flashing & Caulking | | | | | |
| 7 | Misc. Work (grade prep., L&I) | \$ | - | | | |
| | Construction Estimate of | urrent Standard 30 De | esign | \$ | - | |
| | New Proposed Design 30 Water | leater (with redline work) | | | | |
| 1 | 4" Conc. Slab w/ Reinf. | \$ | - | | | |
| 2 | P.T. Wood Frm'g and Roof | \$ | - | | | |
| 3 | Roofing Match Bldg. | \$ | - | | | |
| 4 | Hardi-Panels & Trim | \$ | - | | | |
| 5 | Door and Hdw'r | | | | | |
| 6 | Mtl. Flashing & Caulking | \$ | - | | | |
| 7 | Misc. Work (grade prep., L&I) | \$ | - | | | |
| Co | nstruction Estimate of Ne | Proposed Redline De | esign | \$ | - | |
| | | | | | | |
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Payment: Final Payment shall be made to the Consultant within 45 calendar days after the satisfaction of the following pre-requisites for payment;

- 1. Consultant satisfaction of the Schedule of Performance,
- 2. VMS receipt of the Final Drawings with Specifications,
- 3. Completion of the Work and VMS receipt of a final invoice.

VMS acknowledges the effort requested by this request. You have been considered for this task in consideration of the great past working relationship, and future work that will be accomplished as we both proceed to the work of maintenance and growth of the Village assets. Thank you for your contributions.

I respectfully request that the information be provided no later than November 8, 2021. This would then allow me time to assemble the Report for the governing committees and boards for presentation. Let me know if you have any questions or need further clarifications. Thank you in advance for the effort. If you feel you do not or cannot provide this information please let me know as soon as convenient.

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EXHIBIT "A" – Standard 30: Water Heater Relocation Robbi's Comments 10/1

OBJECTIVE

1. The mutuals have asked MA to review the current Standard and provide an alternative AGUNA WOODS to WOOD construction.

STANDARD 30: WATER HEATER RELOCATION

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SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

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 - The cabinets are designed to conceal a single water heater. Any deviation from the Standard Plan, such as to allow for a water softener, must have approval from the Permits and Inspections Office and meet all other existing Mutual Standards.

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Manor Alterations.

4.1 All exterior conduit placement must first be approved by the VMS Permits and Inspections Office



- 4.2 All installations shall meet electrical codes.
- 4.3 Dimensions shown on the enclosure detail are an approximate. Depending on the size of the water heater and the R-11 blanket, the dimensions many be larger.

5.0 STRAPPING

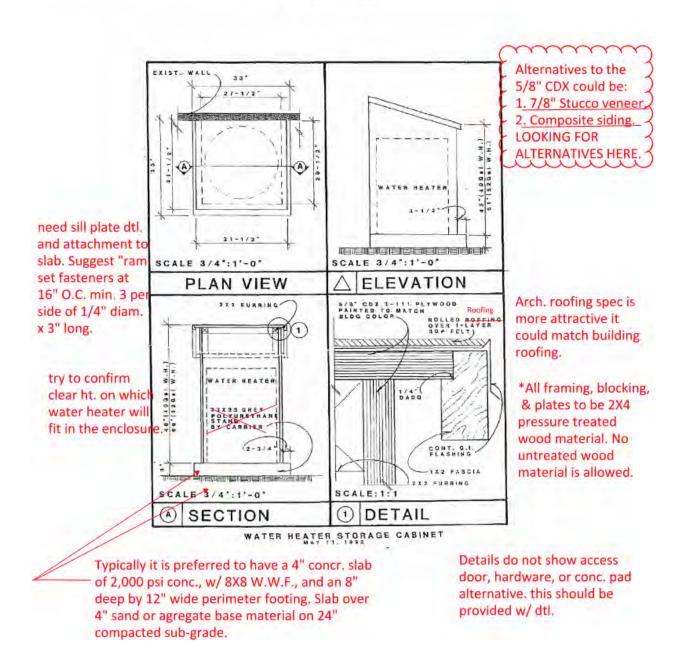
5.1 All new or relocated water heaters will be anchored or strapped to resist horizontal displacement due to earthquake motion per the current edition of the Uniform Building Code.

6.0 LANDSCAPING

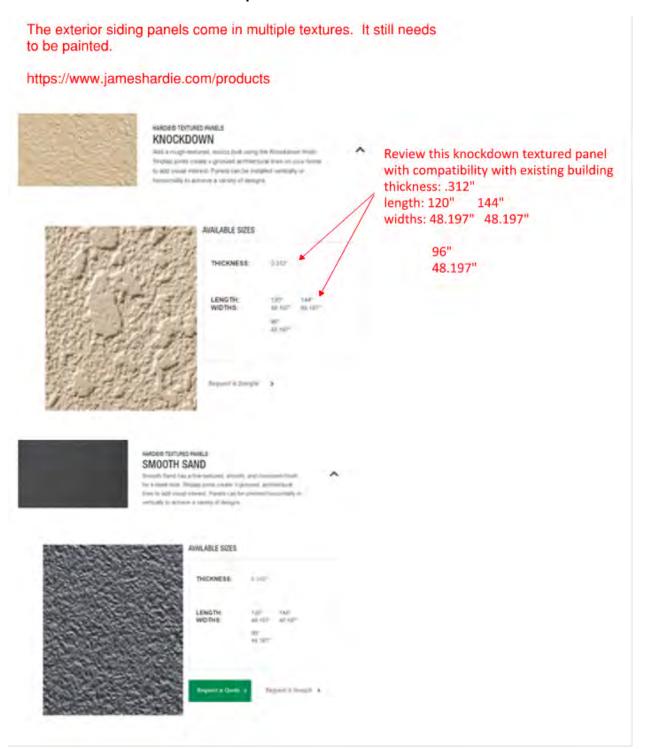
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No reference to if the enclosure is to be locked and who is allowed access.





ATTACHMENT 2 STAFF REPORT - WATER HEATER ENCLOSURE Page 21



Attachment Four - Financial Analysis of Option One

Water Heater Construction Cost Comparison 11/11/21

A comparison of the Standard 30 to a new design is provided. BFC is Brian Foster Construction. SCC is South Coast Construction.

| Current Standard W.H. | BFC | | SCC | |
|-------------------------------|-----|-----|-----|-----|
| Pre-Manf. Carrier 33x33 Stand | \$ | 175 | \$ | 105 |
| Wood Frm'g Walls & Roof | \$ | 500 | \$ | 944 |
| Rolled Roofing | \$ | 150 | \$ | 125 |
| Painting of T-111 Plywd. | \$ | 200 | \$ | 136 |
| Door and Hdw'r | \$ | - | \$ | 95 |
| Mtl. Flashing & Caulking | \$ | 75 | \$ | 75 |
| Misc. Work (grade prep., L&I) | \$ | 180 | \$ | 68 |
| | | | | |

Construction Estimate of Current Standard 30 Design \$ 1,280 \$ 1,548 **BFC** SCC

Average Cost Comparision \$ 1,414

New Proposed Design 30 Water Heater (w/ Redline Cmm'ts)

| 4" Conc. Slab w/Reinf. | \$ 415 | | \$ 295 | |
|-------------------------------|-----------|-------|-----------|----------|
| P.T. Wood Frm'g Walls & Roof | \$ 500 | | \$ 990 | |
| Roofing Match Bldg. | \$ 350 | | \$ 225 | |
| Hardi-Panels & Trim | \$ 150 | | \$ 294 | |
| Door and Hdw'r | \$ - | | \$ 95 | |
| Mtl. Flashing & Caulking | \$ 75 | | \$ 75 | |
| Misc. Work (grade prep., L&I) | \$ 180 | | \$ - | |
| | \$ | 1,670 | : | \$ 1,974 |
| | BF | -C | S | CC |

Average Cost Comparision \$ 1,822

Conclusions

| Average Construction Cost Current | \$ 1,414 |
|-------------------------------------|-------------|
| Average Construcitn Cost New Design | \$ 1,822 |

| Difference in Cost Comparison | \$ 408 Added to New Design of rot resistant |
|-------------------------------|---|
| | materials |

General Summary Notes:

These estimates show that the original design is less expensive to build.

The Current Standard 30 does not look as appealing as the new revised design.

Actual Bids are included for evidence of bid numbers used herein.

A SOW is inclued for reference of a uniform SOW playing field.

ATTACHMENT 2

Page 65 of 99

Attachment Four continued - Financial Analysis of Option One

Water Heater **Design Revision** Cost Comparison

Two RFP's issued and one estimate received.

| | Cardoso | | | |
|---------------------------------|---------|-------|----|-------|
| Part One Drafting, Specs, Rev. | & As | soc. | | |
| Drafting Details | \$ | 840 | | |
| Flashing Specs | \$ | 265 | | |
| Door Hardware | \$ | 265 | | |
| Notes- Review | \$ | 1,590 | | |
| Paint Colors | \$ | 140 | | |
| Hardi-Panel Notes | \$ | 530 | | |
| | | | \$ | 3,630 |
| Part Two 1st Review & Revisions | | | | |
| MA Review | \$ | 1,060 | | |
| MA Pick Ups | \$ | 420 | | |
| | | | \$ | 1,480 |
| | | | | |

Total Fee for Design & Deliverables \$ 5,110

Part Three Plan Check Submittal

Submittal \$ 530 Corrections \$ 530

Total Fee for Plan Check \$ 1,060

Attachment Five - Option 1 Summary, Option 2 Resolution, Option 3 Summary

Option One - New Water Heater Standard Upgrade

The Architectural Controls and Standard Committee recognizes the need to provide a more rot resistant design for the Standard 32 Water Heater for member use; and therefor authorizes the board's approval of the design cost of \$5,110.00.

Option Two – Prohibit Exterior Water Heater Relocations

RESOLUTION 03-21-XX Prohibition of Exterior Water Heater Relocations

WHEREAS, Standard 32 Water Heater Relocations were allowed by the board adoption of the original resolution dated August 1992, and lastly by revised March 2019, Resolution 03-19-34; and

WHEREAS, the ACSC agrees that the use of Common Area for the relocation of manor water heater tanks and their respective enclosures does not enhance the building or mutual aesthetics of the community; and

WHEREAS, the board agrees to cancel or revoke the original resolution dated August 1992, and lastly by revised March 2019, Resolution 03-19-34; and

WHEREAS, the board agrees to prohibit all exterior water heater locations and further prohibits the approval of water heater relocations by variance; and

WHEREAS, the ACSC and Manor Alterations agree that the prohibition of water heater enclosures will contribute to a more positive architectural image of the community; and

NOW THEREFORE, BE IT RESOLVED, on December 21, 2021, the Third Laguna Hills Board hereby approve the Prohibition of Exterior Water Heater Relocations Resolution as attached; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

Option Three - Status Quo

The ACSC agrees to allow the current Standard 32 to remain in full force and effect.





STAFF REPORT

DATE: November 22, 2021 FOR: Third Mutual ACSC

SUBJECT: Flooring Alternative Resolution

RECOMMENDATION

Staff recommends the ACSC approve Manor Alterations (MA) to contract with the low bidder acoustic company to provide the acoustic analysis report.

BACKGROUND

At a recent ACSC meeting Manor Alterations (MA) was asked to review the existing Standard 11A: Interior Hard-Surface Flooring, and make recommendations as to any new products or alternatives regarding sound transmission in multi-storied buildings. Attachment One – Existing Plans & Information to Vendors provides the basic building information for the various predominate types of construction for two-story buildings in Third Mutual. Attachment Two - Standard 11A: Interior Hard-Surface Flooring was adopted July 20, 2010 Resolution 03-10-97 and then further revised December 21, 2010, Resolution 03-10-188. This resolution is an after that fact installation criteria to evaluate the sound resistance of the new flooring.

DISCUSSION

The existing performance criteria establishes a performance standard and not an approved design. It lends a complication in that although the resolution provides for adjacent member protection after installation of flooring, it does not establish an approval of any specific flooring and insulating material prior to its installation. There is no requirement for the member to hire an acoustic engineer to demonstrate performance of acceptability prior to the installation of the flooring. This lends to greater conflict and potentially added cost. A mutual consent is not required in Third, if the original vinyl flooring and mastic is left in place.

The VMS Compliance division supervisor stated, "In Third since 2016 Compliance has addressed 54 complaints of noise nuisance related to hard surface flooring. To date only 2 have resulted in a formal sound test with an acoustical engineer."

Attachment Two – Standard 11A: Interior Hard-Surface Flooring with Comments indicates the STC explanation, noise transmission, and IIC measurements of sound energy as it relates to the expectations of blocking sound transmission. MA provided drawings and plan information to two consultants. This was to invoke comparable cost estimates for the services of testing the select building types for acoustic properties and making recommendations as to the performance of a few products that would meet the required FIIC rating of 50.

The plans and criteria were sent to two acoustic companies:

- 1. SEAVEY ACOUSTICS, LLC of Irvine, CA (Eric Seavy), and
- 2. RNS Acoustic, San Diego, CA

The intent is to study 3 models of construction for a base sound transmission analysis. Then provide recommendations of readily available wood flooring alternatives with sound insultation material that could be allowed to be installed. This would lead to a product specification that would achieve the intended results.

The consultant, Seavy Acoustics, had provided a sound testing in United Mutual in the past. That report was obtained and marked up by MA at the approval of the United Mutual. It is attached at Attachment Three – Seavy Acoustics Report, dated Sept. 17, 2019. Since the Seavy work is familiar to the village it is advantageous to consider their proposal dated on Monday, November 15, 2021. The Financial Analysis indicates the single bid received thus far. If obtained the second proposal will be presented at the ACSC meeting. Existing bids from RNS and Seavey have been collected within Attachment Five – Proposals.

FINANCIAL ANALYSIS

See the Attachment Three - Financial Analysis which indicates the lowest qualified bid of \$4,500 from Seavey Acoustics.

Prepared By: Robbi Doncost - MA Manager

Reviewed By: Lauryn Varnum – MA Coordinator

Committee Routing: Third ACSC Committee

ATTACHMENT(S)

Attachment One - Existing Plans & Information to Vendors
Attachment Two - Standard 11A: Interior Hard-Surface Flooring with Comments
Attachment Three – Seavey Acoustics Report, dated Sept. 17, 2019
Attachment Four - Financial Analysis
Attachment Five - Proposals

Attachment One – Existing Plans & Information to Vendors

| BLOG. 4015 - ACOUSTIC PLANS | Nov. 3, 2021 YVILLA NUEVA MODEL |
|--|---|
| 2ND FLOOR FRAMING - TRACT 7930 SECTION BOLCONEY | FILE NAME: 7935_017_A-14_ |
| BLOG. SECTION | 17935_027_0-2 |
| D-2 DTL 9 SHOWS 1/2 LT. WT. C FLR JOISTS. D-2 DTL 10 CONFIRMS 1 1/2 LT. WT. C SOLID FLR. JOISTS, NOTE 1/2" P. | CONC E WOOD JOISTS. |
| A-19 NOTES LT, NT, CONC, EVER EXER 1/2" PLT WOOD, INSUL UNDER FLP. DECKING. | #15 FECT |
| BLOG. 4010 - ACOUSTIC FLANS - 2ND FLOOR FRAMING - TRACT 7935 A-21. | EL MIRADOR MODEL MODEL CEILING BELOW: 1/2" GYP. BD. ATTACHED TO WOOD JOISTS. |
| D-9 A-10 | |

10-2

Attachment One (continued) - Existing Plans & Information to Vendors

Building Flooring Construction Variances

LH21 Sierra/ Villa Nueva Tract 7935 FJ 2x12@16"O.C. 1 ½" thick lightweight concrete over ½" plywood 5/8" drywall on walls and ceiling

TB24 Garden Villa/ Villa Capri Tract 5719 FJ 2x12@24"O.C. 1 5/8" thick lightweight concrete over ¾" plywood 5/8" drywall on walls and ceiling Some asbuilts show "Trus-Jst"@24"O.C. 1 5/8" thick lightweight concrete over ¾" plywood 5/8" drywall on walls, ½" lath and plaster on ceilings

II06 Casa Linda/ Casa Vista Tract 6033 FJ 2x10@16"O.C. 2 5/8" thick lightweight concrete over ½" std shtg 32/16 10d @ 6"O.C. @ edge, 10d@ 12"O.C. @ field ½" drywall walls, (?) lath and plaster ceilings

LH06 Catalina/ Villa Lugano Tract 8085 FJ 2x12@16"O.C. 1 5/8" thick lightweight concrete over ½" plywood on 15# felt 5/8" drywall at garage walls, ½" drywall interior walls, (?) drywall interior ceiling

HH08 Castilla/ La Brisa/ Montcto. Tract 7887 FJ 2x12@16"O.C. 1 5/8" thick lightweight concrete over ½" plywood ½" drywall walls, 5/8" drywall at party walls, ½" drywall ceiling, 3/8" plaster

Actual original construction plans were sent to both bidders on the Villa Nueva Model indicating the components of the floors framing, decking, deck sub-floor, and ceilings below.

Page 72 of 99

Attachment Two – Standard 11A: Interior Hard-Surface Flooring With Comments

MANOR ALTERATIONS NOTES ON STANDARD 11A

This Standard 11A provides for a criteria by which the flooring is to perform to a desired criteria. Thereby it establishes a performance standard and not an approved design. It lends a complication in that although it provides for adjacent member protection after installation, it does not establish an approval of any specific flooring and insulating material prior to its installation. This lends to greater conflict after installation. There is no requirement for the member to hire an acoustic engineer to demonstrate performance of acceptability.

MA provides sample of planking material that have certain MM thick isolation material. However, no manufacturer performance representation of this material is provided. For that evaluation a series of studies based upon a selected +-3 models of construction would have to be examined by an acoustic engineer. Only then is there the potential to ascertain an estimate of noise level accommodation in a comparable type of db or FIIC rating for certain sound types. HILLS FIIC means: Field Impact

STC is a measurement of the reduction in sound energy that a product will provide. How much noise will

STANDARD 11A: INTERIOR HARD-SURFACE FLOORING

- MUTUAL-

Adopted July 20, 2010, RESOLUTION 03-10-97 Revised December 21, 2010, RESOLUTION 03-10-188

it block? Noise is generated at one end of a very long

GENERAL REQUIREMENTS

tube, the product is See Standard Section 1: General Requirements in a tested floor/ceiling assembly. In this inserted and the **Field Impact Insulation Class**

sound levels 200 ARPLICATIONS

IIC is the measurement of sound energy blocked by a particular product when used case the product is actually tested on a sub floor with an actual floor covering installed.

Insulation Class

other end are measured.

2.1 FIIC AND CC&R STANDARDS: All interior hard-surface flooring (including but not limited to new, different or replacement flooring) which is installed in a room within a second or third floor Condominium that is located above an area where there is no dropped ceiling immediately below, must at all times meet a field impact insulation class (FIIC) rating of 50 as defined in the American Society for Testing and Materials (ASTM) E 1007 standard, and the utilization of same by the occupants of the aforesaid Condominium must not cause any violation of Article III section 6 of the Amended and Restated Declaration of Covenants. Conditions and Restrictions. FIIC testing on interior hard-surface flooring shall only be required pursuant to the procedures described in the Interior Hard-Surface Flooring Complaint Rules. Floor coverings such as area rugs, may be included to obtain the required FIIC 50 rating; provided that these coverings must be retained as a permanent part of the interior flooring and may be replaced only by other floor coverings that provide the required 50 FIIC rating.

2.2 OWNER RESPONSIBILITIES. The Owner(s) of a Condominium (including the Condominium Owner(s) on the date of the installation and all successor Owners) where interior hard-surface flooring subject to paragraph 2.1 has been installed shall be responsible for ensuring that the utilization of said flooring at all times meets a 50 FIIC rating, and for ensuring that said flooring does not cause any violation of Article III section 6 of the Amended and Restated Declaration of Covenants, Conditions and Restrictions.

> ATTACHMENT 3 STAFF REPORT - ALTERNATIVE WOOD FLOORING MATERIAL Page 5

Attachment Two (continued)- Standard 11A: Interior Hard-Surface Flooring With Comments

AllC stands for "Apparent Impact Insulation Class," which is the insulation index of the apparent impact noise of a floor/ceiling assembly on site. Since ASTM E1007-14 and ASTM E336-14 came to affect, details have been provided on how to measure and present the results of acoustic tests car

FIIC stands for "Field Impact Insulation Class"

For current acoustic standards, for floor/ceiling assembly in multifamily buildings with more than one floor, the National Building Code (NBC) does not require a minimum Impact Noise rating but recommends a FIIC 55

THIRD LAGUNA HILLS

M U T U A L — IIC stands for "Impact Insulation Class"

INTERIOR HARD-SURFACE FLOORING COMPLAINT RULES

July 20, 2010, RESOLUTION 03-10-98 REVISED AUGUST 2013, RESOLUTION 03-13-85

- 1. **APPLICABILITY**. These Interior Hard-Surface Flooring Complaint Rules ("Rules") shall govern complaints by any Owner or resident of a first or second floor Condominium that the interior hard-surface flooring in the Condominium immediately above is in violation of Article III section 6 of the Amended and Restated Declaration of Covenants, Conditions and Restrictions and/or Section 11A of the Third Laguna Hills Mutual Alteration Standards.
- 2. WRITTEN COMPLAINTS. Any Owner or resident of a first or second floor Condominium who alleges that the existence of and/or utilization of the interior hard-surface flooring in the Condominium immediately above it is in violation of Article III section 6 of the Amended and Restated Declaration of Covenants, Conditions and Restrictions and/or Section 11A of the Third Laguna Hills Mutual Alteration Standards, must submit a written complaint to the Mutual on a form provided by the Mutual (the "Hard-Surface Flooring Complaint Form" or "Complaint"). Upon receipt of said Complaint, the Mutual will forward a packet to the complaining Condominium Owner(s), the Owner(s) of the Condominium against which the Complaint has been lodged, and the residents of same (if different from the Owners), which packet will include the Complaint, these Rules, and a written demand that all affected parties meet and confer in person in a good faith effort to resolve the Complaint (collectively the "Meet and Confer Packet").
- 3. **MEET AND CONFER PROCESS**. Upon receipt of the Meet and Confer Packet, all affected parties shall meet and confer in person in a good faith effort to resolve the Complaint between themselves. If the affected parties resolve the Complaint, they shall notify the Mutual in writing of the terms and conditions of such resolution. If the affected parties are unable to resolve the Complaint between themselves, then the complaining Owner or resident must so notify the Mutual in writing on a form provided by the Mutual (the "Notice of Failure To Resolve Hard-Surface Flooring Complaint" or "Notice").

Attachment Two (continued) – Standard 11A: Interior Hard-Surface Flooring With Comments Only after a complaint is issued is

the Mutual to retain an acoutical

- 4. INVESTIGATION OF COMPLAINTS. Upon the Mutual's receipt of the Notice of Failure To Resolve Hard-Surface Flooring Complaint from the complaining Owner or resident, then the Mutual shall: a) forward a copy of said Notice to the Owners and residents of the Condominium which is the subject of the Complaint, and b) select, retain and advance the costs for an acoustical testing and engineering expert, who shall perform FIIC testing on interior hard-surface flooring located in bedroom(s), the living room, and hallway(s), whichever is the subject of the Complaint. Testing shall not necessarily be required on interior hard-surface flooring located in the dining room, kitchen, nook, or bathroom(s). The Mutual's payment of such expert costs shall be subject to its right to obtain reimbursement of such costs by imposition and levy of a Reimbursement Assessment upon the appropriate Condominium and Condominium Owners pursuant to the Governing Documents and these Rules.
 - 5. **FIIC TESTING**. All FIIC testing which is conducted under these Rules shall be performed by an expert selected by the Mutual in its sole discretion. The expert shall be experienced in the field of acoustical testing and engineering. Said expert shall promptly forward to the Mutual a written report which shall include all test results as well as his, her or its findings, opinions and recommendations. The Mutual shall forward copies of the report to the complaining Condominium Owners and residents, and to the Owners and residents of the Condominium wherein the interior hard-surface flooring at issue is located.
 - 6. **OWNER AND RESIDENT COOPERATION**. All Condominium Owners and residents involved shall fully cooperate with the Mutual, its agents and experts in connection with FIIC testing. Said cooperation shall include allowing the Mutual, its agents and experts to enter, inspect, photograph, and test all Condominiums which are identified in the Complaint. If entry into a Condominium is required, such entry shall be done at reasonable times, upon reasonable prior notice, and with as little inconvenience to the Condominium Owners and residents as possible. The Board shall impose and levy a Reimbursement Assessment against the appropriate Condominium Owners and their respective Condominiums in order to reimburse the Mutual for all costs, expenses and attorney's fees which the Mutual incurs in connection with the Complaint or the enforcement of these Rules.

7. BOARD HEARINGS AND ORDERS.

- i) As soon as reasonable after the Mutual receives the expert's test results and report, a hearing shall be held before the Board of Directors. At the hearing, the Board shall consider all relevant matters, including whether there has been any violation of Article III section 6 of the Amended and Restated Declaration of Covenants, Conditions and Restrictions and/or Section 11A of the Third Laguna Hills Mutual Alteration Standards.
- ii) After the hearing has concluded, the Board of Directors shall determine such

Page 75 of 99

Attachment Two (continued) - Standard 11A: Interior Hard-Surface Flooring With Comments

actions, remedies, fines, penalties, suspensions, Reimbursement Assessments, and other orders that the Board in its discretion deems appropriate to be taken, including, but not limited to:

- (1) Imposing and levying a Reimbursement Assessment against either the Owner of the Condominium where the interior hard-surface flooring at issue is located or the Owner of the Condominium which originated the Complaint (even if the Complaint was made by a non-Owner resident in the Condominium) to reimburse the Mutual for all costs, expenses and attorney's fees that the Mutual has incurred in connection with the Complaint or its enforcement of these Rules, including the costs of FIIC testing, expert consultations, and expert reports; (2) Directing the Owner(s) and/or resident(s) of the Condominium where the interior hard-surface flooring at issue is located to take remedial action to correct the situation that resulted in the Complaint, submit documents verifying that such remedial action has been completed, and/or allow an expert selected by the Mutual and paid for in advance by said Owners to perform follow-up FIIC testing to verify the effectiveness of the remedial action; and
- (3) Making such other and further orders as it deems appropriate, including imposing monetary penalties and fines, imposing and levying Reimbursement Assessments, suspending the right to use any facilities owned, operated or managed by the Mutual, suspending the right to vote in Mutual elections, recommending to GRF that it take disciplinary action against the Owner(s) and/or resident(s) with respect to the Owner(s) and/or resident(s) use of GRF provided facilities and amenities, and/or setting additional hearings.

Understanding Sound Transmission Class (STC) Rating When people are evaluating building materials and acoustical products for sound reduction, they rely on the sound transmission class or STC rating of the product. By understanding this rating of materials, we know how much sound will be blocked from going through those materials.

It is especially important in residential and commercial construction. Impact loads require very special considerations in preventing sound transmission.

STC Rating Chart STC What can be heard at this level

- 25 Soft speech can be heard and understood
- 30 Normal speech can be heard and understood
- 35 Loud speech can be heard and understood
- 40 Loud speech can be heard, but not understood
- 45 The threshold at which privacy begins
- 50 Loud sounds can be heard, but are very faint

60+ At this level, good soundproofing begins. Neighbors generally are not disturbed by very loud speech from inside.

This is a United Mutual Report provided by approval of United for reference

Field Impact Insulation Class Tests

at

Laguna Woods Village

226-Q - 226-D Avenida Majorca, Laguna Woods, CA

Project # 1908A

September 17, 2019

Pourjaneki, Shervin, Contracts Administrator Laguna Village Management Services 24351 El Toro Rd Laguna Woods, CA 92637



Eric Seavey, P.E., INCE Bd. Cert.
SEAVEY ACOUSTICS, LLC

Attachment Three - Seavy Acoustics Report, dated Sept. 17, 2019

SEAVEY ACOUSTICS, LLC





1 INTRODUCTION

This report presents the Field Impact Insulation Class (FIIC) test results of the floor/ceiling assembly in multiple room between units 226-Q and 226-D Avenida Majorca in Laguna Woods, CA, that were conducted on September 9, 2019. This report includes a description of the conditions of both upstairs and downstairs unit conditions and floor/ceiling assembly.

2 BACKGROUND

BASE PERFORMANCE TEST RE: FIIC 50 RATING

United Mutual

The floor/ceiling assembly between units 226-Q an 226-D have been tested to determine conformance to the homeowner association bylaws that include language for minimum FIIC requirements as follows:

- FIIC AND MUTUAL STANDARDS: All interior flooring and underlayment installations (including but not limited to new, different or replacement flooring) which are installed in a room within a second floor unit that is located above living space area of a separate residence must at all times meet a minimum of an impact Insulation Class (IIC) rating of 60 as defined in the American Society for Testing and Materials (ASTM) E1007 standard, and the utilization of same occupants of the unit must not cause any violation of Article 5 of the Occupancy Agreement.
- INSTALLATION TESTING: All installations, when tested in place, shall meet the Field Impact Insulation Class (FIIC) rating of 50. Testing on interior flooring shall only be required pursuant to the procedures described in the Interior Flooring Grievance Procedure. Floor coverings such as area rugs, may not be included to obtain the required minimum of FIIC 50 rating, unless these coverings are a permanent part of the interior flooring. Replacement or removal of these or other floor coverings must provide the required minimum of FIIC 50 rating. Living space shall be defined as any area within a unit that is not a bathroom or kitchen.

The minimum field tested FIIC 50 rating is required by the homeowner association in all rooms except the kitchen and bathrooms.

Room Selection

Four floor/ceiling assembly locations were selected based upon an examination of the building layout for determining the FIIC. The layout of the upstairs and downstairs units are identical and have a living room, dining area, two bedrooms, a kitchen and two bathrooms. The bedrooms, bathrooms and living room are connected by a hallway. The rooms selected to be tested are Living Room, Bedroom 1, Bedroom 2 (numbering clockwise around the unit starting at the front door) and the Dining Area.

Room Conditions

Unit 226-D has average furnishing and good access throughout the unit. All windows closed properly, and the refrigerator, and heating, ventilation and air conditioning (HVAC) system was turned off. The conditions were suitable for reliable acoustical measurements.

Attachment Three - Seavy Acoustics Report, dated Sept. 17, 2019

SEAVEY ACOUSTICS, LLC





Unit 226-Q was vacant, and all windows closed properly and the HVAC system was turned off. The flooring appeared to be cushion backed vinyl flooring with a wood texture. There is no floor covering in any rooms.

Floor/Ceiling Assembly Description

The homeowner association provided typical floor/ceiling assembly details of the apartment buildings. The floor is felt underlayment on $2\frac{1}{2}$ -inch lightweight concrete over $\frac{1}{2}$ -inch plywood. The building is expected to be wood framing with separate wood joists for the floor and ceiling. The ceiling is expected to be $\frac{1}{2}$ -inch gypsum board, directly attached to the joists. At the time of building construction, insulation between units was not required, and thus is expected not to be present between the floor and ceilings.

California Noise Standards

Requirements for noise insulation are included in the design of all new multi-family dwelling units to be constructed in California after August 1974. Noise Insulation Standards are part of the California Administrative Code (Title 25, Section 1092) and are enforced by local building departments throughout the state. The standards apply to all new multi-family dwelling units, such as hotels, apartments, duplexes, townhouses, and condominium units. Because buildings on Avenda Majorca were built in 1964, the floor/ceiling assemblies were not required to meet the minimum IIC 50 rating (IIC 45 field tested).

3 MEASUREMENT METHOD

The American Society for Testing and Materials (ASTM) has developed standard testing methods for determining the noise insulation characteristics of assemblies separating living spaces. These standards help ensure the reproducibility of the test and accuracy of the results. The standard test procedures for testing noise insulation between rooms are listed in the Annual Book of ASTM Standards, Volume 04.06 - Thermal Insulation and Environmental Acoustics.

The IIC tests were performed using the method designated E1007, "Standard Test Method for Field Measurement of Tapping Machine Impact Sound Transmission Through Floor-Ceiling Assemblies and Associated Support Structures". The room absorption was calculated using the method specified in C423-84a, "Standard Test Method for Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method" using reverberation time measurements obtained in the receiving rooms for the floor/ceiling assemblies tested.For FIIC tests, the structure borne noise is produced using a tapping machine that taps on the floor surface at the rate of ten taps per second. This test determines the amount of energy that passes through the floor/ceiling assembly by direct excitation. For FIIC tests, two sets of acoustical measurements are made in the receiving room; structural radiation from the direct excitation of the floor/ceiling assembly, and reverberation measurements. The tapping machine is positioned in four different positions in accordance with ASTM E1007, and the average sound

Attachment Three - Seavy Acoustics Report, dated Sept. 17, 2019

SEAVEY ACOUSTICS, LLC





pressure level for each position is measured through spatial averaging. The reverberation measurements are taken at three locations per room, in accordance with ASTM C423-84a.

4 ACOUSTICAL PERFORMANCE

Acoustical Measurement Results

The measured FIICs of the four floor/ceiling assemblies are presented in Table 1. All floor/ceiling assemblies are not meeting the homeowner association FIIC 50 requirements. Table 1. Measured FIIC of Floor/Ceiling Assemblies of 226-Q and 226-D Avenida Majorca in Laguna Woods, CA

| Room Tested | FIIC | Meets HOA FIIC 50 Requirements? |
|-------------|------|---------------------------------|
| Living Room | 44 | No |
| Bedroom 1 | 42 | No |
| Bedroom 2 | 42 | No |
| Dining Area | 43 | No |

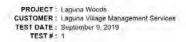
Discussion

Based on the acoustical measurement results and available floor/ceiling construction information, the IIC of the 226-Q and 226-D floor/ceiling assembly may be improved by using an acoustical 5 mm recycled rubber underlayment products such as QT SCU or Regupol Sonus. Although, the building was not constructed to current acoustical standards, thus it is uncertain whether FIIC 50 rating can be achieved using 5 mm recycled rubber underlayment under vinyl flooring.

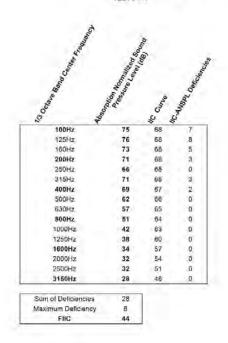


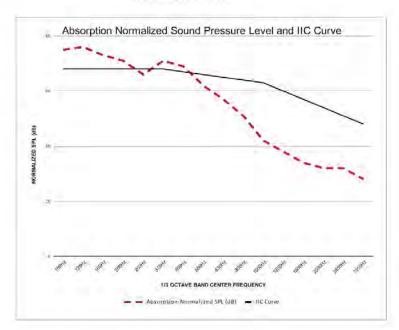
Appendix A **FIIC Reports**



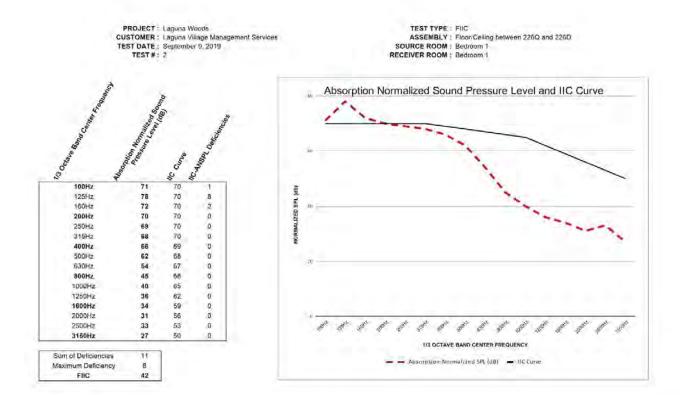


TEST TYPE: FIIC
ASSEMBLY: Floor/Celling between 226Q and 226D
SOURCE ROOM: Living Room
RECEIVER ROOM; Living Room

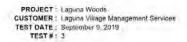




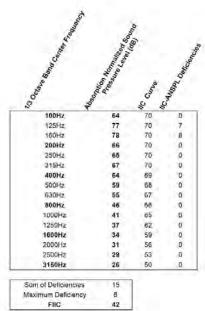


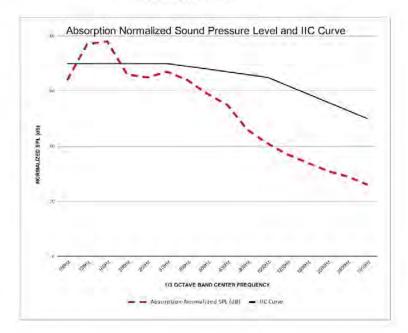




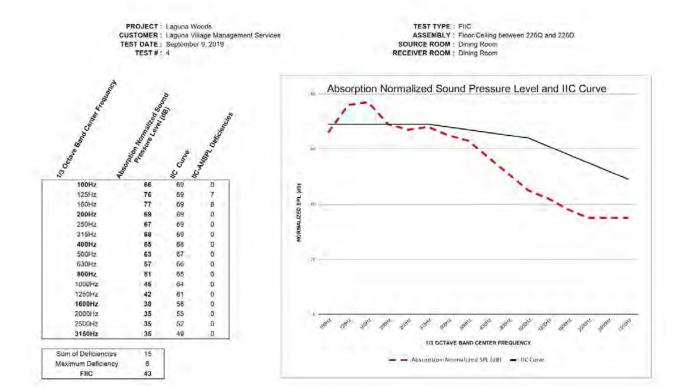


TEST TYPE: FIIC
ASSEMBLY: Floor/Celling between 226Q and 226Q
SOURCE ROOM: Bedroom 2
RECEIVER ROOM: Bedroom 2









Attachment Four - Financial Analysis

Flooring Alternative Comparison

11/12/21 Rev'd 11/15/21

A comparison of the Consultant cost is provided for comparision of Standard 30 to a new design is provided.

Two RFP's issued and one estimate received. Second estimate due on Monday.

| | RNS | | Seavey | | | | |
|---|----------------|---------|-------------|----|-------|----|-------|
| | Ac | oustics | | | Est. | | |
| Phase I - Analysis of Existing Asemblies | \$ | 1,700 | | \$ | 1,500 | | |
| Phase II - On-Site Measurements of Assemblies | \$ | 3,400 | | \$ | 1,500 | | |
| Phase III - Recommendations & Reporting | \$ | 3,060 | | \$ | 1,500 | | |
| | Total Bid Cost | | \$ 8,160 | | | \$ | 4,500 |
| | | | RNS | | | S | eavey |

Lowest Qualified Bidder

Total Fee for Investigation, Design & Deliverables \$ 4,500



Proposal of Services

First Acoustic Proposal RNS

Date: 11/01/2021
Proposal: 2021228
Prepared for: Robbi Doncost

VMS, Inc.

24351 El Toro Rd Laguna Woods, CA

92637

Scope of Work

Robbi Doncost of VMS has asked RNS Acoustics to prepare a proposal of services to assist with hardwood flooring guidelines for Laguna Woods Village. Currently, the guidelines specify assembly ratings that must be achieved to replace carpet with hard flooring, however it is not known if the installation meets these ratings until installation is complete. RNS is proposing a multiphase approach to evaluate multiple assemblies and determine both the product types as well as the process for each unique assembly. This will allow the governing body to review/ approve the exact products and process that meet the guidelines prior to installation and reduce the chance of changes needed after completion. The first phase will consist of reviewing and analyzing the unique assemblies in question and determining the baseline of performance that the structure can support. The second phase will be on-site testing of these assemblies to qualify the model and confirm the ratings are achievable. This will include mock-ups with underlayments and typical hard flooring. Finally the third phase will consist of evaluation of all modelling and test results and a compilation of the data into a recommendation report. In addition to recommendations of products and installation guidelines, the report will include process guidelines that will ensure the correct system will perform as intended. This may be a combination of checklists, site visits and verification measurements throughout the remodel.

| Proposed Service | | Price |
|--|-------------------|----------|
| Phase 1 - Analysis of Existing Assemblies (3) | | 1,700.00 |
| -Review of existing structure and floor plans -Analysis and modelling of expected performance -Comparison of data to current guidelines | | |
| Phase 2 - On-Site Measurements of Assemblies | | 3,400.00 |
| -Measurements of existing assemblies -Includes tests with and without typical underlayments -Analysis of results and comparison to existing guidelines | | |
| Phase 3 - Recommendations and Reporting | | 3,060.00 |
| -Review of results with client to inform recommendations that will meet per-Specify flooring, underlayment and install process to meet FIIC requirem -Reporting of analysis, testing and recommendations -Determine process guidelines to ensure approved flooring product types | nents. | |
| | Tax: | 0.00 |
| | Total Cost (USD): | 8,160.00 |

RNS Acoustics

Attachment Five (continued) - Proposals



Terms and Conditions

RNS ACOUSTICS agrees to provide the services listed in this document to the client. By signing below, the client agrees to the estimated price listed above. Upon signing of the proposal, the client agrees to pay the below listed amount as a retainer for acoustic services.

Deposit Amount = \$4,080

The remaining balance will be billed upon completion of the project.

Accepted Payment Methods

RNS ACOUSTICS accepts checks, bank transfers, and credit cards (cc payments will have a 3% service fee added)

Overdue Invoices

RNS ACOUSTICS will begin to assess interest on overdue invoices after 60 days at the rate of 10% annually.

Additional Services

RNS ACOUSTICS may offer additional services not included in the original scope only after written approval by the client. These services will be provided at the hourly rate of \$170/hr.

| APPROVAL & COMMENTS | | | | | |
|--|--|--|--|--|--|
| Client: Robbi Doncost Company: VMS, Inc. | | | | | |
| Signature: | | | | | |
| Date: | | | | | |

ATTACHMENT 3 STAFF REPORT - ALTERNATIVE WOOD FLOORING MATERIAL Page 20

SEAVEY ACOUSTICS. LLC





November 15, 2021

Robbi Doncost, Manor Alterations Manager Laguna Woods Village - Manor Alterations Division 24351 El Toro Rd Laguna Woods, CA 92637

Subject: Proposal for Sound Transmission Policy Revision

Dear Mr. Doncost,

Seavey Acoustics, LLC is pleased to submit this proposal to assist in writing the Sound Transmission Policy Revision for Laguna Woods Village in the City of Laguna Woods, CA, and provide supporting acoustical consulting services. The revisions will include minimum specifications for various floor finishes that ensure meeting the 2019 California Building Code, Title 24, Part 2, Volume 1, Section 1206.3 Structure-borne Sound. The California building code requires the Impact Isolation Class (IIC) to be not less than 50, or not less than 45 if field tested. The IIC quantifies structure-borne sound transmission of floor-ceiling assemblies.

Scope of Work:

Task 1 Analysis of Existing Assemblies

Seavey Acoustics, LLC will review existing floor plans and floor-ceiling assemblies. Using acoustical software, the IIC of floor-ceiling assemblies will be projected for a variety of different floor finishes for the floor-ceiling assemblies at Laguna Woods Village. A memorandum will be written that compares the projected IIC to current policies at Laguna Woods Village.

Task 1 Cost

The proposed cost for reviewing existing floor plans, floor-ceiling assemblies, projecting the IIC for various floor finishes and writing a memorandum is \$1,500.00.

Task 2 On-Site Measurements of Assemblies

Seavey Acoustics, LLC will perform one site visit up to eight (8) hours to measure the IIC of the floor-ceiling assemblies with a variety of floor finishes. It is recommended to perform measurements in two different spaces per floor finish option. The IIC measurements will include those for existing floor-ceiling assemblies as well as various underlayments and floor finishes. Various floor finishes may include carpeting, hardwood flooring, luxury vinyl tiles, etc. A memorandum will be written that includes the analysis of the IIC measurements and compared to existing Laguna Woods Village guidelines and policies.

The American Society for Testing and Materials (ASTM) has developed standard testing methods for determining the noise insulation characteristics of assemblies separating living spaces. These standards help ensure the reproducibility of the test and accuracy of the results. The standard test procedures for testing noise insulation between rooms are listed in the Annual

Attachment Five (continued) - Proposals

SEAVEY ACOUSTICS. LLC





Book of ASTM Standards, Volume 04.06 - Thermal Insulation and Environmental Acoustics. The IIC tests will be performed using the method designated E1007, "Standard Test Method for Field Measurement of Tapping Machine Impact Sound Transmission Through Floor-Ceiling Assemblies and Associated Support Structures". The room absorption was calculated using the method specified in C423-84a, "Standard Test Method for Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method" using reverberation time measurements obtained in the receiving rooms for the floor/ceiling assemblies tested.

Task 2 Cost

The proposed cost for one on-site visit and performing up to eight (8) hours of IIC measurements of existing floor-ceiling assemblies and for a variety of floor finishes, and writing a memorandum comparing the measurement results with projections and current sound transmission policies is \$1,500.00.

Task 3 Recommendations and Reporting

Seavey Acoustics, LLC will review floor-ceiling IIC measurement and modeling results with Laguna Woods Village, and provide recommendations to meet required acoustical standards. A report will be produced that includes floor finish specifications to ensure that the floor-ceiling assembly IIC standards are met. The report will include acoustical modeling, measurements, analysis and recommendations that were performed in previous tasks. A step by step description of sound transmission mitigation options will be provided for various typical floor finishes, to ensure that the IIC standards are met.

Task 3 Cost

The proposed cost for reviewing the floor-ceiling IIC results with Laguna Woods Village, and producing a report is \$1,500.00

Attachment Five (continued) - Proposals

SEAVEY ACOUSTICS, LLC





Total Cost

The total cost for completing three tasks for assisting in the revision of the Sound Transmission Policies at Laguna Woods VIIIage is 4,500.00. Each task will be billed separately upon substantial completion.

If this proposal is acceptable to you, please sign on the line below and return. This will serve as a binding contract for the services, and once the signed proposal is received, we will initiate the work.

Sincerely, Seavey Acoustics, LLC Eric Seavey, P.E., INCE Bd. Cert. Laguna Woods Village Management Services Date

> **ATTACHMENT 3** Proposal for Sound Transmission Policy Registers Reputer Wards NATIVE WOOD FLOORING MATERIAL Page 23 3/3

Attachment Six - Resolution 03-21-XX

RESOLUTION 03-21-XX Vendor Contract for Acoustic Evaluation and Report

WHEREAS, Standard 11A: Interior Hard-Surface Flooring is a performance evaluation criterion of an after the fact installation of hardwood flooring. Third Mutual desires to have an evaluation of the existing prominent building types to arrive at a performance tested recommendation of flooring and acoustical barrier specification; and

WHEREAS, the ACSC and MA agree that the evaluation of an acoustic engineer will be beneficial in reducing member liability of flooring installations that do not meet FIIC ratings of 50. This will reduce conflicts and noise intrusion to members occupying the below manors; and

WHEREAS, in a future resolution and after adoption of the acoustic report, the board agrees to cancel or revoke the original resolution adopted July 20, 2010 Resolution 03-10-97, and then further revised December 21, 2010, Resolution 03-10-188; and

NOW THEREFORE, BE IT RESOLVED, on December 21, 2021, the Third Laguna Hills Board hereby approve the Vendor Contract cost of \$4,500 for Seavey Acoustics to allow MA to contract with this lowest and most qualified bid consultant on behalf of the mutual; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: November 22, 2021

FOR: Third Architectural Control and Standards Committee

SUBJECT: Policy and Procedures for Requests for Handrails in Common Area

RECOMMENDATION

Staff recommends the Third ACSC approve the following procedures to address requests for construction of handrails in Common Area. Should the Board decide to adopt these procedures as policy, the hand rail approvals will be conditioned per Appendix A. Alternatively, the Board may adopt these procedures as Third Mutual Standard Section 48: Handrails in Common Areas per Appendix B.

DISCUSSION

The Mutual's Board recognizes that both new and existing Manor Owners may desire to upgrade or alter Common Area elements due to certain physical limitations. Some of these limitations involve compromised ambulatory movement. Since these physical limitations may affect how a Manor Owner may travel to and from their manor, which often involves traveling down a sidewalk or driveway to the street curb, a handrail would be of great value in providing aid in that movement within the Common Area.

Previous Boards have provided for exceptions to be made for alterations on common area that accommodate access to the main entry of a unit for members that suffer from a physical disability (see Attachment 01 Step 5, Section (A) of Third Mutual Decision Tree). Currently all requests for such alterations require Committee review, prior to Board approval.

The Common Area is owned and maintained by the Mutual and Manor Owners are only allowed certain considerations for improvements in the Common Area. There is no absolute right granted by the Mutual Board, or its governing documents, to any Manor Owner allowing the installation of improvements in Common Area.

PROPOSED HANDRAIL POLICY

The consideration of handrail approvals and installation must follow certain provisions:

- 1. Any Common Area handrail request is to be made to Manor Alterations following the existing established Variance procedure;
- 2. The initial Variance request shall include the following material:
 - a. Plan of the surrounding area including the desired location with dimensions of the horizontal handrail requested,
 - b. Elevation drawing of the handrail,

ATTACHMENT 4

- c. Information sufficient to document the compromised condition and physical need for a handrail by the Manor Owner in Common Area. This may include the acknowledgment, documented by a licensed medical doctor, of the physical impairment.
- 3. In the event of Mutual Board approval of this request, additional Conditions of Approval (Appendix A) will include;
 - a. The Alteration handrail shall meet ADA and California Building Code Accessibility guidelines.
 - b. The Alteration handrail should be painted a color consistent with other handrails installed within the area.
 - c. More detailed plans and elevations shall be provided to indicate slopes of the sidewalks, elevations of concrete surfaces adjacent to the handrail, and handrail construction documents.
 - d. The Alteration handrail and footings will require structural calculations and details engineered to prevent overturning.
- 4. The Alteration handrail must be removed and the driveway and landscaped area returned to original condition upon sale/change of Mutual Ownership of the unit or in the event that the Mutual Owner is no longer a permanent resident of the unit and all associated costs will be the sole responsibility of the Mutual Owner;
- 5. The handrail shall be located in the grass or landscaping area adjacent to the driveway or concrete surface;
- 6. The Alteration handrail shall be reviewed by Landscape division and they will provide recommendations for the installation e.g. mow strip between handrail and landscape to avoid unmaintained areas.

ATTACHMENT(S):

Appendix A: Conditions of Approval

Appendix B: Section 48: Handrails in Common Area

Attachment 1: Third Mutual Decision Tree Step 5, Section (A).

Attachment 2: Resolution

Page 94 of 99

Appendix A - Additional Conditions of Approval

APPENDIX A

ADDITIONAL CONDITIONS OF APPROVAL

- 1. The modifications shall be consistent with the intent of otherwise applicable provisions of the governing documents pertaining to safety and/or aesthetics.
- Modifications external to the dwelling shall not prevent reasonable passage by other
 residents, and shall be removed and restored to original condition by the member
 when the separate interest is no longer occupied by the person(s) requiring those
 modifications.
- 3. Any member who intends to modify a separate interest pursuant to this paragraph shall submit a formal architectural application with proposed architectural and engineering plans, as necessary and applicable to meet the needs of the manor resident.
- Any change in the exterior appearance of a separate interest or common area shall be in accordance with the governing documents of Third Mutual and applicable provisions of law.
- 5. Manor owner shall pay for any experts needed to develop the architectural and engineering plans, any association fees, and full cost of the manufacturing and installation of approved modifications.
- 6. The Alteration handrail shall be located in the grass or landscaping area adjacent to the driveway or concrete surface;
- 7. The Alteration handrail shall be reviewed by Landscape division and they will provide recommendations for the installation e.g. mow strip between handrail and landscape to avoid unmaintained areas.
- The Alteration handrail shall meet ADA and California Building Code Accessibility guidelines.
- Detailed plans and elevations of the Alteration handrail shall be provided to indicate slopes of the sidewalks, elevations of concrete surfaces adjacent to the hand railing, and hand railing construction documents.
- 10. The Alteration handrail and footings will require structural calculations and details engineered to prevent overturning.
- 11. The Alteration handrail shall be painted a color consistent with other handrails installed within the area.
- 12. The Alteration handrail must be removed and the driveway and landscaped area returned to original condition upon sale/change of Mutual Ownership of the unit or in the event that the Mutual Owner is no longer a permanent resident of the unit and all associated costs will be the sole responsibility of the Mutual Owner.

Page 95 of 99

SECTION 48: HAND RAILS IN COMMON AREA RESOLUTION 03-21-XX NOVEMBER 2021

1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

2.0 PREPARATIONS

- 2.1 In each case, information sufficient to document the compromised condition and physical need for a handrail by the Manor Owner in Common Area shall be provided. This may include the acknowledgement, documented by a licensed medical doctor, of the physical impairment.
- 2.2 In each case, an inspector will visit the site prior to work, for adjustments pertaining to this section.
- 2.3 The Alteration handrail shall be located in the grass or landscaping area adjacent to the driveway or concrete surface. Where no landscaping exists adjacent to the concrete surface, an alternate structural connection may be considered;
- 2.4 In each case, the Alteration handrail shall be reviewed by Landscape division and they will provide recommendations for the installation e.g. mow strip between handrail and landscape to avoid unmaintained areas.
- 2.5 In each case, detailed plans and elevations of the Alteration handrail shall be provided to indicate slopes of the sidewalks, elevations of concrete surfaces adjacent to the hand railing, and hand railing construction documents.
- **2.6** The Alteration handrail and footings will require structural calculations and details engineered to prevent overturning.
- **2.7** The Alteration handrail shall meet the current ADA and California Building Code Accessibility guidelines.

3.0 APPLICATIONS

3.1 All posts shall be attached to or set in concrete. No posts shall have contact with any soil.

- 3.2 All railings shall be painted black, unless other railings or ornamental architectural metal elements attached to the building are of a different color, in which case it shall match the existing color.
- 3.3 The Member Owner shall pay for any experts needed to develop the architectural and engineering plans, any association fees, and full cost of the manufacturing and installation of approved modifications.
- 3.4 The Alteration handrail must be removed and the hardscaped and landscaped area returned to original condition upon sale/change of Mutual Ownership of the unit or in the event that the Mutual Owner is no longer a permanent resident of the unit and all associated costs will be the sole responsibility of the Mutual Owner.
- 3.5 Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Covenant to Run with the Land" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Unit Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

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Attachment: 1

Third Mutual Decision Tree Rev. December 2018

STEP 5: Application for a Manor Alteration to be constructed entirely or partially upon or over the Mutual's General Common Area or previously approved Common Area for Exclusive Use, will be processed as a Variance Request.

If Staff determines that the proposed Alteration would be constructed entirely or partially upon or over any of the Mutual's general Common Area, or previously approved Common Area for Exclusive Use, Staff and the Committee will consider the Application as a Variance Request. <u>The Committee</u> will review the request for an Alteration on Common Area on a case-by-case basis:

Staff and the Committee will investigate the circumstances surrounding the Application, and the Committee will refer the Application to the Board if necessary, which may, but is not obligated to, approve the Application.

A. If the proposed Alteration would be to facilitate access to the Manor by persons with a physical disability, or to alter existing conditions which could be hazardous to such persons, the Committee may approve the Application, in accordance with the requirements of statute and federal and state fair housing laws.

Attachment 2 - Resolution

Resolution 03-21-XX

Policy and Procedures for Requests for Handrails in Common Area

WHEREAS, the Mutual's Board recognizes that Manor Owners may desire to upgrade or alter Common Area elements due to certain physical limitations, involving compromised ambulatory movement affecting how the Manor Owners travel to and from their manor, and,

WHEREAS, the Mutual's Board recognizes a handrail would be of great value in providing aid in that movement within the Common Area, and,

WHEREAS, prior Mutual Boards of the condominium project mutual homeowner associations, have from time-to-time adopted policies and procedures to approve such Manor Alteration Applications in limited circumstances, and,

WHEREAS, the Common Area is owned and maintained by the Mutual and Manor Owners are only allowed certain considerations for improvements in the Common Area, with no absolute right granted by the Mutual Board, or its governing documents, to any Manor Owner allowing the installation of improvements in Common Area.

NOW THEREFORE BE IT RESOLVED, on December 21, 2021, the Board of Directors hereby adopts as policy the procedures for consideration of requests for construction of hand rails in Common Area, attached as part of the official minutes of this meeting;

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.